

Contents

RECOMMENDATION	3
EXECUTIVE SUMMARY	3
BACKGROUND INFORMATION	4
Site location and description	4
Details of proposal	9
Consultation responses from members of the public and local groups	14
Planning history of the site, and adjoining or nearby sites.	17
KEY ISSUES FOR CONSIDERATION	17
Summary of main issues.....	17
Legal context	18
Planning policy.....	18
ASSESSMENT.....	19
Principle of the proposed development in terms of land use.....	19
Conformity with Outline Permission	20
Environmental impact assessment.....	21
Ecology and biodiversity	28
Potential risks to biodiversity	32
Summary of risks	33
Design.....	34
Designing out crime	42
Site safety	43
Future Dock management	44
Landscaping, trees and urban greening.....	44
Heritage considerations	46
Archaeology	48
Impact of proposed development on amenity of adjoining occupiers and surrounding area.....	48
Noise and vibration	49
Transport and highways.....	50
Water Resources, Flood Risk and SUDs	52
Light pollution.....	53
Sustainability.....	54
Planning obligations (S.106 agreement)	55

Mayoral and borough community infrastructure levy (CIL).....	55
Other matters.....	55
Community involvement and engagement.....	55
Consultation responses from external and statutory consultees.....	56
Consultation responses from internal consultees.....	57
Community impact and equalities assessment.....	57
Human rights implications.....	58
Positive and proactive statement.....	59
Positive and proactive engagement: summary table.....	59
CONCLUSION.....	59
BACKGROUND INFORMATION.....	60
BACKGROUND DOCUMENTS.....	60
APPENDICES.....	60
AUDIT TRAIL.....	60
Appendix 1: Recommendation.....	62
Appendix 2: Relevant planning policy.....	66
Appendix 3: Relevant planning history.....	71
Appendix 4: Consultation undertaken.....	72
Appendix 5: Consultation responses received.....	90

Item No.	Classification:	Date:	Meeting Name:
8.2	OPEN	18 January 2022	Planning Committee
Report title:	Development Management planning application: Application 21/AP/3794 for: Reserved Matters Application Address: THE DOCK AND LAND ADJACENT TO ZONE D, CANADA WATER MASTERPLAN SITE, LONDON, SE16 7LL Proposal: Application for the approval of reserved matters (Access, Appearance, Landscaping, Layout and Scale) in relation to Canada Dock and land adjacent to Zone D pursuant to outline planning permission ref. 18/AP/1604 dated 29th May 2020, relating to the re-development of Canada Dock, including the re-grading and re-planting of the SINC, construction of a new boardwalk, construction of steps and accessible slopes along the southern edge and associated public realm, informal play space and landscape improvements.		
Ward(s) or groups affected:	Rotherhithe		
From:	Director of Planning and Growth		
Application Start Date	15.11.2021	PPA Expiry Date n/a	
Earliest Decision Date	04.01.2022		

RECOMMENDATION

1. That planning permission be granted subject to the additional conditions and informative as set out in the draft recommendation at Appendix 1.
2. It should be noted that this Reserved Matters Application is bound by the s106 legal agreement and conditions attached to the Outline Planning Permission 18/AP/1604.

EXECUTIVE SUMMARY

3. This is a Reserved Matters Application (RMA) for works on and around Canada Water Dock following the grant of Outline Planning Permission for the Canada Water Masterplan.
4. The existing Dock is an important waterbody for the borough in terms of its ecological status as a Site of Importance for Nature Conservation (SINC), as an important fishing resource and area of public realm. Despite its importance, the quality of the Dock environment has declined over the years, and its ecological status is compromised as a result of low water levels and limited management of its planting. The Dock surrounds offer little by way of public facilities or activity and the contribution to public realm is limited. The Dock is strongly related to the identity of Canada Water, and the proposal offers an opportunity to significantly improve the Dock as a key destination within the

town centre.

5. The proposed development aims to improve the ecology and biodiversity of the Dock to enhance its value as a SINCE, to provide new facilities for people to interact with nature (by way of the dipping pond and pergola) and to provide a place for socialising. The new boardwalk/bridge will provide an additional north – south pedestrian route from the station into the heart of the town centre thus improving permeability, as well as being an attractive feature allowing people to enjoy the views across the water.
6. The works to the Dock would accord with the principles of the Masterplan as approved by the Outline Permission 18/AP/1604. The permission included reference to a bridge or boardwalk across the Dock, and to improvements to the southern edge of the Dock, adjacent to the Masterplan's Zone D. The works would require removal of all existing vegetation and habitats which would have a short term adverse impact in ecological terms by way of disruption to birds, invertebrates and other aquatic life. However, the newly created habitats would significantly enhance opportunities for biodiversity net gain thus having a demonstrable positive impact on ecology and enhancing the Dock as one of the boroughs most important nature conservation sites.
7. The detailed designs for the boardwalk, southern Dock edge, dipping pond and pergola are extremely high quality and will result in a valuable and robust area of public realm which will bring significant benefits to the local community including workers and visitors to the area.
8. The submission of this application follows a series of pre- and post-application discussions as a result of which improvements were secured in respect of the detailed design of the boardwalk as well as the facilities to be provided on the southern Dock edge. Additional ecological information was submitted to robustly demonstrate that any harm to ecology will be minimised during construction and that opportunities for enhanced habitat creation have been maximised in the final designs of the proposal. Appropriate mitigation will be secured in a specific Demolition and Construction Environmental Management Plan secured as part of the original conditions and s106 obligations for the Outline Permission.
9. The proposal responds positively to design, transport and sustainability policies and there would be no harm to neighbour amenity. Subject to the appropriate mitigation secured by the conditions and s106 obligations attached to the Outline Permission and the additional recommended condition to secure public access to the dipping pond, the proposal is considered to be in line with the objectives of the Masterplan and a positive contribution to the town centre.

BACKGROUND INFORMATION

Site location and description

10. The Canada Water Masterplan covers an area of 21.27 hectares and includes Harmsworth Quays Printworks, Surrey Quays Shopping Centre and Surrey Quays Leisure Park. The Masterplan also includes the former Rotherhithe Police Station, Dock Office Courtyard and a parcel of land on Roberts Close.

11. The shopping centre is still in operation and there are a range of interim uses taking place across the Masterplan site including a music and entertainment use in the former Printworks building, TEDI University and Global Generation Paper Garden Charity.
12. Permission was granted to British Land in May 2020 for the Masterplan scheme, and development has commenced. Construction is underway on Plots A1, A2 and K1 which were approved in detail as part of the Outline Permission. A range of enabling works are also being undertaken on Plot H (former Printworks building). Reserved Matters Applications have also been received and are under consideration for development on Zones L, H and F.
13. The Canada Water Masterplan aims to create a major new town centre comprising a diverse mix of retail, residential, office, leisure and cultural facilities. The site is bound by Lower Road to the west, a combination of Surrey Quays Road, Canada Water Dock and the edge of The Printworks to the north, Quebec Way to the east and Redriff Road to the south. The Masterplan will deliver a series of buildings subdivided into plots focussed around three urban spaces, one being Canada Water Dock, an important wetland habitat.
14. The image below shows each of the approved development plots.

15.



16. This application relates specifically to Canada Water Dock, located to the north west of the masterplan site area. The site is not located within a Conservation Area nor within the curtilage of a Listed Building, however, the Grade II Listed former Dock Manager's office and 1-14 Dock Offices are in close proximity to the site. The Protected London View from Greenwich Park Wolfe Statue to Tower Bridge and to St Pauls Cathedral passes through the south-western tip of the Dock.

17. The following area designations apply:

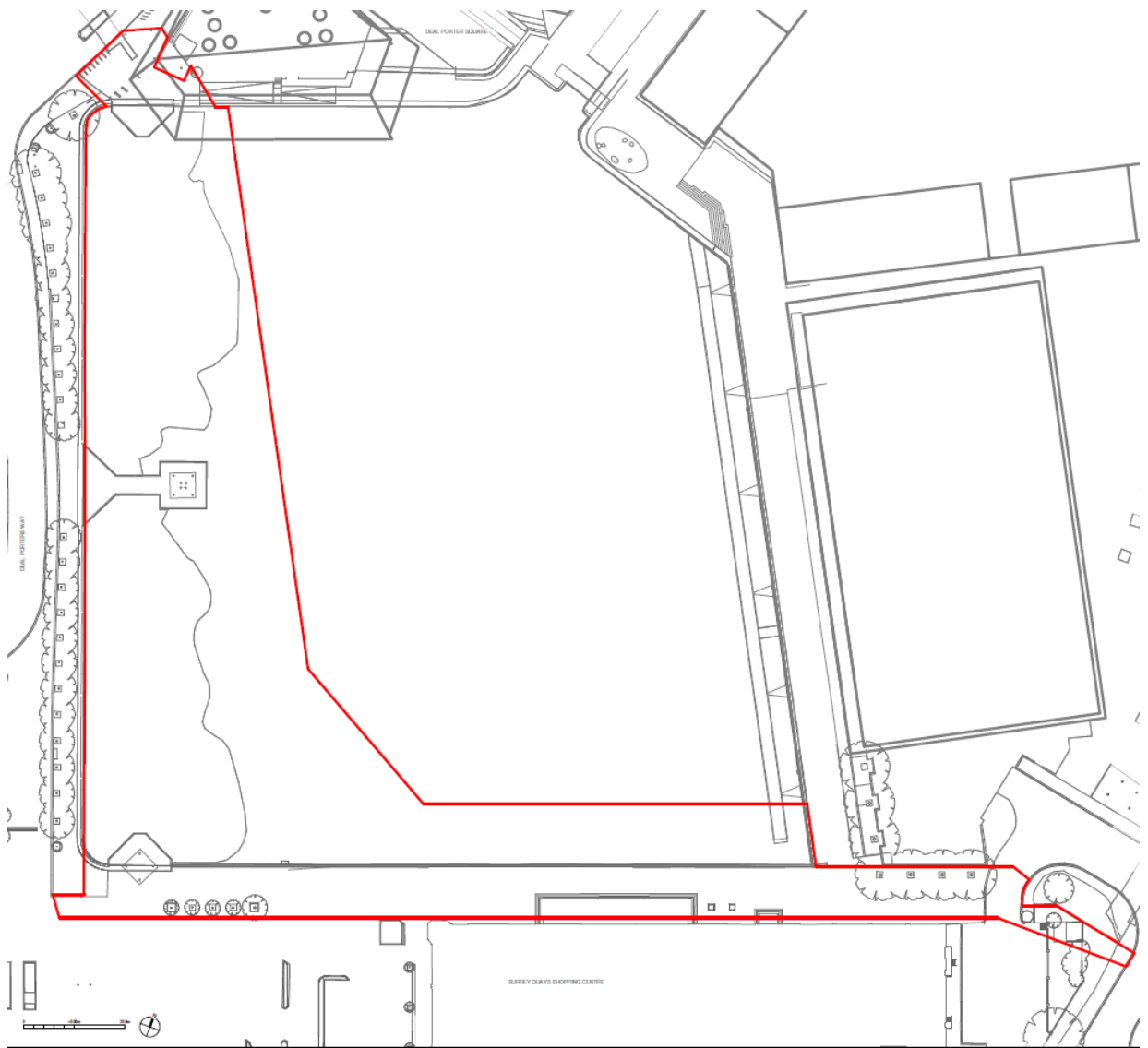
- Canada Water Major Town Centre
- Canada Water Strategic Heating Area
- Site of Importance of Nature Conservation
- Borough Open Land
- Canada Water Open Water Space
- Urban Density Zone
- Air Quality Management Area
- Canada Water Action Area Core

- Flood Zone 2
- Flood Zone 3
- Site Allocation NSP81
- Canada Water Opportunity Area

18. The aerial view below shows the Dock in its current form.



The image below shows the red site boundary for this application.



19. The Outline Planning Permission site boundary and Reserved Matters boundary line cuts across the Canada Water Dock area on the western and southern edge as shown in the site plan image above. The remainder of the Dock sits outside the scope of this application. Canada Water Dock is bound by Surrey Quays Shopping Centre to the South, Deal Porters Way to the West, Canada Water Library, Underground station and Deal Porter Square to the north, Albion Channel to the north-east and Decathlon and Dock X to the east. The Dock is proposed to be framed by Plot A to the west and Zone D to the south, within the Canada Water Masterplan. In addition, the Council is currently considering an application for commercial redevelopment of the Dock X site located to the east (21/AP/2655). The application includes two tall buildings fronting the eastern side of the Dock.
20. Canada Water Dock is characterised by vegetated fringe and reed beds on the western boundary and reeds and other wetland species on the southern edge. There are currently three viewing platforms extending into the Dock and a fishing pontoon is present along the eastern edge, where day and night fishing is permitted.
21. The Dock in its entirety is approximately 19412.80 sqm in area; the western boundary of the Dock is 150 metres in length and the maximum width along the southern boundary is 145 metres. The existing water level is circa. +3.30. The area of Dock covered by this application is 7249.80 sqm (37% of the total Dock area).

22. Floating islands are present along the northern edge of the Dock as well as the 'Deal Porters' statue (1990) by Philip Bews and Diane Gorvin, depicting the porters who handled the wood imported at Surrey Docks, a reminder of the area's industrial heritage. The statue will be retained and incorporated into the new development.

Details of proposal

23. Permission was granted under 18/AP/1604 for:

'Hybrid application seeking detailed planning permission for Phase 1 and outline planning permission for future phases, comprising:

'Outline planning permission (all matters reserved) for demolition of all existing structures and redevelopment to include a number of tall buildings comprising the following mix of uses: retail (Use Classes A1-A5), workspace (B1), hotel (C1), residential (C3), assisted living (C2), student accommodation, leisure (including a cinema)(D2), community facilities (including health and education uses)(D1), public toilets, nightclub, flexible events space, an energy centre, an interim and permanent petrol filling station, a primary electricity substation, a secondary entrance for Surrey Quays Rail Station, a Park Pavilion, landscaping including open spaces and public realm, works to Canada Water Dock, car parking, means of access, associated infrastructure and highways works, demolition or retention with alterations to the Press Hall and/or Spine Building of the Printworks; and

Detailed planning permission for the following Development Plots in Phase 1:

- Plot A1 (south of Surrey Quays Road and west of Deal Porters Way) to provide uses comprising retail (A1-A5), workspace (B1) and 186 residential units (C3) in a 6 and 34 storey building, plus basement;
- Plot A2 (east of Lower Road and west of Canada Water Dock) to provide a leisure centre (D2), retail (A1-A5), and workspace (B1) in a 4, 5 and 6 storey building, plus basement;
- Plot K1 (east of Roberts Close) to provide 79 residential units (C3) in a 5 and 6 storey building;
- Interim Petrol Filling Station (north of Redriff Road and east of Lower Road) to provide a petrol filling station with kiosk, canopy and forecourt area.

Each Development Plot with associated car parking, cycle parking, landscaping, public realm, plant and other relevant works'.

24. The outline part of the planning permission was granted subject to various parameter plans which establish the maximum parameters within which future buildings and spaces can come forward, such as the maximum building height, minimum and maximum building lines, basement extents and permitted uses for each Masterplan Zone. These parameters are contained in the Development Specification and Parameter Plans which were approved as part of the overall permission. In addition, the Design Code documents set out the detailed design principles against which a subsequent Reserved Matters application should be assessed.
25. This Reserved Matters Application (RMA) covers the matters of access, appearance, landscaping, layout and scale for the Dock works which were not determined under the

26. The proposal to improve the Dock as a key part of public realm includes:
- Re-grading and re-planting of the SINC along the western edge and enhancement of the Dock habitats. Existing vegetation will be removed from the Dock and soils will be re-profiled to create three zones of wetland habitats characterised by reedbeds, wet woodland and wet meadow and pond. The water level of the Dock will be raised and a sustainable urban drainage system will be installed to improve water quality of the Dock.
 - Construction of a new red timber boardwalk running north to south with an additional western access point. The boardwalk would provide pedestrian access from the southern edge of the Dock to Deal Porters Square or towards the new leisure centre, but would not permit cyclists.
 - Creation of public realm on the southern Dock edge as part of the public realm design for Zone D, comprising the water's steps, wetland steps, dipping pond, pergola and Dock Edge Walk
27. The main boardwalk is approximately 170 metres in length, with the secondary boardwalk being approximately 29 metres long linking Plot A to the west to the boardwalk. The main boardwalk has a clear width of 4 metres, and total width of 4.3 metres, providing space for benches whilst allowing space for a large number of users. Curved timber fins in a natural finish would project an additional 1.2 metres either side of the 1.1 metre high red timber balustrade on both sides of the boardwalk, creating a total width of 6.7 metres. The secondary boardwalk would have a clear width of 2.8 metres and a total width of 3.1 metres, also with a 1.1 metre high red timber balustrade.
28. The pergola would measure 5.8 metres in height from the top of the steps and 13.9 metres in width at the base of the roof structure, with a large circular opening in the roof. The overall diameter of the pergola is 18.5 metres, including the 1.8 metre wide sloped access ramp. The pergola is intended to encourage interaction with the water and provide a space for visitors to spend time and relax.
29. The circular dipping pond has a diameter of 15 metres and is surrounded by a 2 metre wide timber walkway at water level. The pergola and dipping pond would be publically accessible with no public access restrictions beyond that required for maintenance, safety or specific events such as school visits. For safety and security, the dipping pond would be gated at its access point, with the gate locked from dusk to dawn. Access for private visits (for example school trips) will be managed by British Land and availability of access will be advertised at the time. The pergola and dipping pond will be closed on Christmas Day, but open for the remainder of the year. A condition is recommended to ensure public access is retained and any changes to the aforementioned access arrangements will only be made following consultation and agreement with the Council.
30. In order to implement this permission it would be necessary to clear the existing vegetation at the Dock. The following Outline Specification of Works has been proposed covering an approximate 4 week period (commencing in February 2022 before the start of the nesting season):-
- Site set-up and establishment of site compound, layby, launch point, and

hoarding.

- Clearance of existing trees and vegetation:
- Removal of all trees to ground level, coppicing of shrubs and vegetation along the western and southern boundaries.
- Opportunities to retain any sections of clean and healthy reed beds that are not dominated by vigorous species such as bindweed and bramble will be investigated. Such sections of reed bed would be carefully removed and stored in a location that ensures they remain in good condition until they can be re-planted following the re-grading works.
- Removal of existing structures:
- Removal of part of the fishing pontoon, which runs parallel to the eastern edge, to facilitate construction of the seated steps along the southern edge.
- Removal of the viewing platforms and pavilions within the centre of the western edge and the southwest corner of the Dock.
- Removal of the viewing platform within the northwest corner of the Dock.
- Clearance works will ensure that soil layers are undisturbed.
- Prepare foreshore area, removal of debris etc.
- Clear pipe line.
- Prior to works commencing, the Deal Porters statue, which will remain in-situ as part of the Dock enhancements, shall be suitably protected from the clearance activities taking place in the vicinity. The protection will be maintained for the duration of the works to the Dock.

31. The above works would be controlled in detail via a Demolition and Environmental Management Plan secured through the s106 agreement attached to the Outline Permission (Schedule 23). It should be noted that clearance of the existing vegetation does not require permission as part of this application as it would not be defined as development. However, the construction impacts arising from the clearance are subject to control under Schedule 23 of the Outline Permission and as such the method for clearance will be controlled under Schedule 23. A detailed DEMP has been submitted under reference 21/AP/4316.
32. A detailed Construction Environmental Management Plan (CEMP) will be submitted under Schedule 23 for the implementation of the works proposed as part of this application. Subject to permission being granted, the developer (British Land) would intend to commence works as soon as possible after clearing the existing vegetation to minimise the time period for disruption to wildlife. The construction period is anticipated to be 12 months. The Outline Specification of Works for construction includes :-
 - Mobilisation of plant – if the works are to be carried out from the water (TBC), this will involve a modular pontoon to create a working platform on the Dock for a crane or excavator.
 - Outfall construction – 2no. on the western edge and 1no. on the southern edge. Likely to be installed using landside plant.
 - Refurbishment of existing borehole within the Canada Water Plaza in order to control and maintain the target water level.
 - Dock wall repairs – removal of existing corrosion, mortar repair and repointing.
 - Southern edge step construction:

- Pre-dredge of southern edge. Dredging works would be undertaken from the pontoon with a long reach excavator;
- Install intermediate piles (anticipated to be driven steel circular open-ended piles to minimise silt disturbance);
- Install sheet piles;
- Install pre-cast intermediate support sections;
- Install final landscaping finishes.
- Boardwalk construction:
 - Install piles (anticipated to be driven steel circular open-ended piles). The piles could be either installed from the water via pontoon or the western edge following re-grading and stability work to the SINC;
 - Construct abutments and pile caps (anticipated to be driven steel circular open-ended piles);
 - Pre-fabrication of boardwalk sections
 - On-site assembly and installation of boardwalk sections - assembled dockside and installed either landside or via pontoon;
 - Install final finishes.
- SINC construction:
 - Re-profiling and re-distribution of material to create more diverse topography and varied depths of pools and channels;
 - Creation of retaining structures (anticipated to be timber stakes typically with a sheet pile in one location);
 - Planting, and installation of features such as nest-boxes, as appropriate.

33. In addition to the above obligations to control detailed methods of demolition/clearance and construction, Schedule 3 of the s106 agreement is also relevant to this application. This schedule includes clauses requiring the Dock works to be delivered within a specified timeframe, to be maintained by the Developer thereafter, and secures public access to the Dock and boardwalk. This schedule also requires the Developer to develop an Ecology Management Plan for the entire Masterplan site. The Management Plan would include management of habitats being created as part of this application and would be required to cover a period of 15 years to ensure that the full ecological potential is realised. A draft strategy has been shared with the Council's Ecologist for feedback. The overall approach has now been agreed and a formal submission of the strategy for approval is expected shortly.

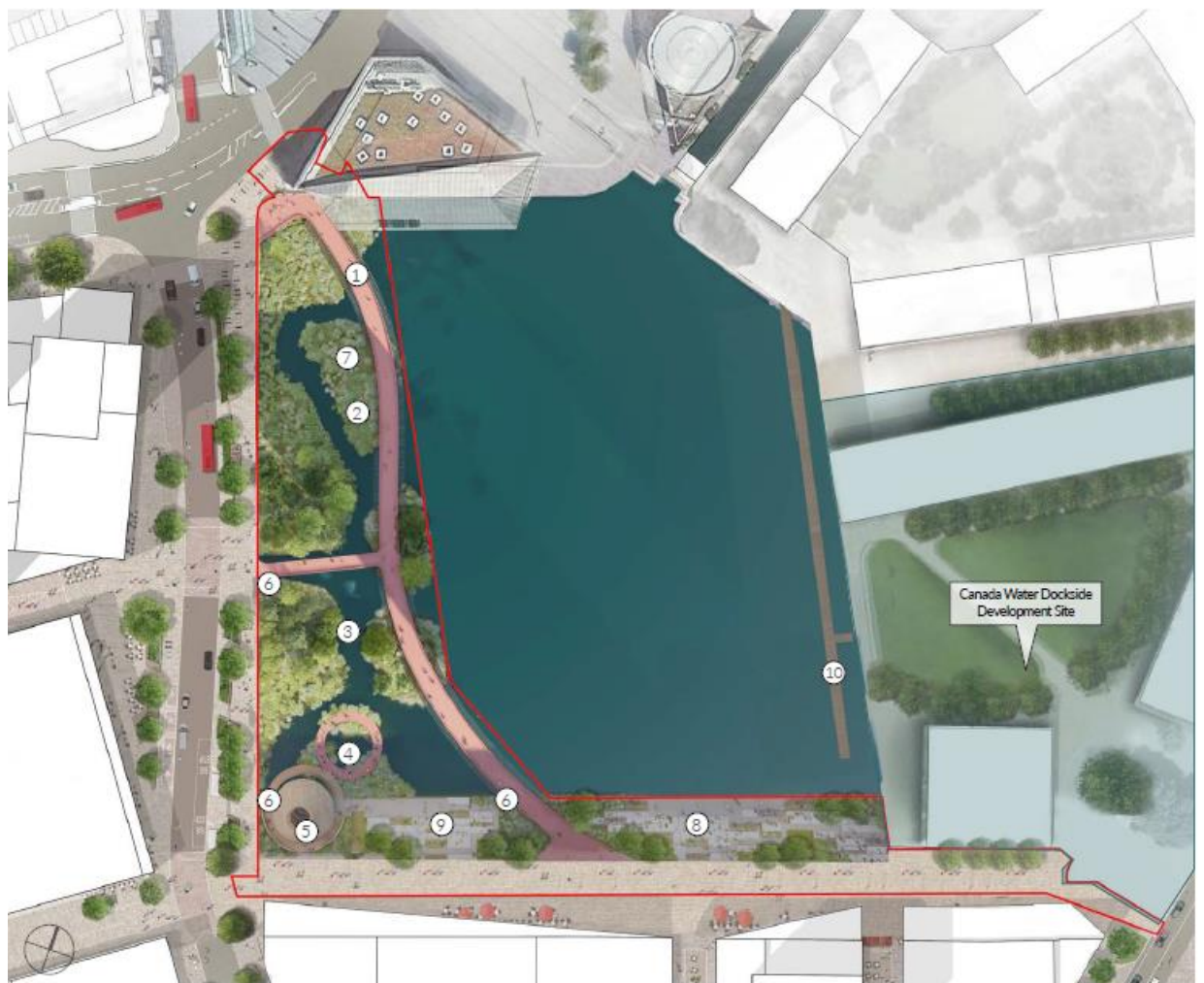


Figure 26: Illustrative public realm plan showing the scheme submitted as part of this RMA

- ① Boardwalk ② Islands ③ Internal channel ④ Dipping pond ⑤ Pergola ⑥ Water outfall ⑦ Deal Porters Statue (existing)
 ⑧ Southern Steps ⑨ Children's Ampitheatre ⑩ Existing fishing pontoon — RMA Boundary

Image: Ground floor layout showing key elements of the proposal



Image: Illustrative view of the proposal

Amendments to the application

34. The scheme has evolved since submission in response to design comments from planning officers.
35. The dimensions of the boardwalk fins were amended to address visibility issues whilst retaining the design intent of the boardwalk. The proposed amendments reduced the fin length from 1.5 metres to 1.2 metres, thereby reducing the overall width of the boardwalk by over half a metre. In addition, the fin depth and fin spacing were altered to open up wider views down to the water when walking along the boardwalk. Finally, the gap between the balusters has been widened to 99mm to increase views for children and seated observers.

Consultation responses from members of the public and local groups

36. Letters were sent to local residents when the application was received and the application was advertised in the local press and site notices were erected.
37. A total of 4 representations were received; 3 objections and 1 neutral. The comments have been summarised in the table below.

38.	Objections	Officer Response
	Affect local ecology <ul style="list-style-type: none"> The boardwalk across the lake 	<ul style="list-style-type: none"> It is acknowledged that there would be disruption to existing

<p>with the disrespectful public is asking for a disaster to wildlife</p> <ul style="list-style-type: none"> • Council allowing mature trees to be slaughtered and replacing them with uninteresting saplings, which is criminal • Proposed boardwalk situated on top of a bird nesting area and one of the few truly natural spaces in the area which should be protected • The boardwalk will increase litter in the Dock • Boardwalk will bring more pollution and destroy more wildlife • Grave community concerns have arisen in alignment to the unsoundness and late arrival of application related ecology reports. Information which should be more in depth and should have been made available upon the applications original validation and statutory consultation period 	<p>habitats whilst the improvement works are undertaken. The applicant has demonstrated that all measures have been explored to minimise the disturbance to wildlife during clearance and construction. The applicant has worked with the Council's Ecologist to identify ways of retaining existing reedbeds offsite to be incorporated into new habitat planting; to ensure that any harm is minimised and mitigated.</p> <ul style="list-style-type: none"> • Work is planned to commence before the nesting season of 2022 and will be undertaken over a period which affects 2 nesting seasons. Whilst this is regrettable it cannot be avoided and the long term benefits of this proposal in terms of habitat creation and biodiversity net gain outweigh the limited harm that will arise during the short term. • Creating opportunities for the community to interact sensitively with wildlife and for educational purposes within a controlled environment is regarded as a positive benefit of this proposal • Litter bins will be incorporated into the landscape design and the area will be properly managed and maintained by the Developer • The additional ecology documents are of a technical nature and seek to build on original documents, rather than introduce significant new information. Given the concerns regarding timing over the Christmas period, third party comments were accepted beyond the statutory consultation date and up to the point of making a decision.
<p>General dislike of proposal</p> <ul style="list-style-type: none"> • Proposal is a terrible idea, this is not a toy town pond it is a wildlife natural ecological lake • The Council continue to ruin a mature neighbourhood with over development that transport cannot 	<ul style="list-style-type: none"> • The ecological importance of the SINC sits at the heart of this application. The applicant has worked with the Councils Ecologist to ensure that the proposal would have a positive impact on ecology. Furthermore the Council has

<p>cope with now</p> <ul style="list-style-type: none"> • Awful masterplan • Don't believe boardwalk is worth the sacrifice of local nature and don't believe local residents have expressed a desire for this • Why does the council allow development to invade a natural habitat – why this planning application in the first place • Urge the council to reject this application 	<p>employed an expert consultant to assist with the analysis of the technical information submitted to ensure that a robust and fit for purpose review has been undertaken of the ecological impacts of the proposal.</p>
<p>Increase of pollution</p> <ul style="list-style-type: none"> • The disturbance and danger from litter will pollute the lake – already one sees plastic, paper, takeaway packaging thrown in • The wire fence at the bottom keeps discarded cigarette ends, plastic bags rubbish etc. from falling into the water • The winds around the basin are strong and if there is no adequate barrier to stop rubbish falling in, the wildlife will be endangered even more 	<ul style="list-style-type: none"> • A management and maintenance programme will be secured as part of the Ecology Management Plan required by the s106 agreement to ensure long term maintenance of the Dock • A technical analysis of wind has been submitted as part of the application and the results are acceptable.
<p>Increase in traffic</p>	<ul style="list-style-type: none"> • The proposal is car free but will improve opportunities for pedestrians via the new footbridge
<p>Information missing from plans</p>	<ul style="list-style-type: none"> • Officers requested further technical details to demonstrate the full ecological impact and are now satisfied with the information submitted.
<p>Noise nuisance</p>	<ul style="list-style-type: none"> • It is not considered that unacceptable noise nuisance will occur
<p>Out of keeping with character of area</p>	<ul style="list-style-type: none"> • The proposal will make a positive contribution to the town centre
<p>Over development</p> <ul style="list-style-type: none"> • Why waste money on a fancy idea instead of using the money to finally get the water pumps working and repair the leaking of the basin, so the levels go back to what they were 30 years ago 	<ul style="list-style-type: none"> • Proper management of the water level utilising Sustainable Urban Drainage techniques is an important part of this proposal
<p>Strain on existing community facilities</p>	<ul style="list-style-type: none"> • This application will result in

	additional community facilities by way of the dipping pond and pergola
<p>Impact on angling</p> <ul style="list-style-type: none"> Concern was raised over the impact on angling and the re-provision of facilities and replacement locations 	<ul style="list-style-type: none"> The comments have been noted and will be addressed as part of a wider improvement to the Dock, connected to an adjacent development proposal
<p>Public Engagement</p> <ul style="list-style-type: none"> Concerns were raised regarding the level of public engagement by the developer 	<ul style="list-style-type: none"> The applicant submitted a Statement of Community Involvement which details the level of engagement undertaken and is discussed in paragraph 257 of this report
Neutral comments	
<ul style="list-style-type: none"> The provision of an illuminated, elevated walkway in principle seems a welcome addition to the basin itself as does the investment in managed areas of ecology and public realm, an area in which the council are struggling for financial resource. Adopted ownership of said areas could bring benefits. 	

Planning history of the site, and adjoining or nearby sites.

39. Any decisions which are significant to the consideration of the current application are referred to within the relevant sections of the report. A fuller history of decisions relating to this site, and other nearby sites, is provided in Appendix 3.

KEY ISSUES FOR CONSIDERATION

Summary of main issues

40. The main issues to be considered in respect of this application are:
- Principle of the proposed development in terms of land use;
 - Conformity with Outline Permission
 - Environmental impact assessment
 - Ecology and biodiversity
 - Design
 - Site safety
 - Future Dock management
 - Landscaping and urban greening

- Heritage considerations
- Archaeology
- Impact of proposed development on amenity of adjoining occupiers and surrounding area,
- Transport and highways, including cycle parking
- Sustainability
- Planning obligations (S.106 undertaking or agreement)
- Consultation responses and community engagement
- Community impact, equalities assessment and human rights

41. These matters are discussed in detail in the 'Assessment' section of this report.

Legal context

42. Section 38(6) of the Planning and Compulsory Purchase Act (2004) requires planning applications to be determined in accordance with the development plan, unless material considerations indicate otherwise. In this instance the development plan comprises the London Plan 2021, the Core Strategy 2011, the Saved Southwark Plan 2007 and the Canada Water Area Action Plan 2015. Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires decision-makers determining planning applications to pay special regard to the desirability of preserving listed buildings and their setting or any features of special architectural or historic interest which they possess.
43. Paragraph 48 of the NPPF states that decision makers may give weight to relevant policies in emerging plans according to the stage of preparation of the emerging plan, the extent to which there are unresolved objections to the policy and the degree of consistency with the Framework.
44. The Southwark Plan 2022 (formerly New Southwark Plan) is now at an advanced stage. The New Southwark Plan (NSP) was submitted to the Secretary of State in January 2020. The Examination in Public (EiP) for the NSP took place between February and April 2021. The Inspectors wrote a post hearings letter on 28 May 2021 and under Section 20(7)(c) of the Planning and Compulsory Purchase Act (2004) the Council asked the Inspectors to recommend Main Modifications to ensure the Plan is sound. The Council consulted on the Main Modifications as recommended by the Inspectors from 6 August 2021 to 24 September 2021. The Inspectors have published their final report and the Plan can proceed to adoption.
45. The Southwark Plan 2022, will be considered for adoption by Council Assembly in February 2022 (following consideration by Cabinet in December 2021) and will replace the saved policies of the 2007 Southwark Plan, the 2011 Core Strategy, the Aylesbury Area Action Plan 2010, the Peckham and Nunhead Area Action Plan 2014 and the Canada Water Area Action Plan 2015.
46. There are also specific statutory duties in respect of the Public Sector Equalities Duty which are highlighted in the relevant sections below and in the overall assessment at the end of the report.

Planning policy

47. The statutory development plans for the borough comprise the London Plan 2021, Southwark Core Strategy 2011, saved policies from The Southwark Plan (2007) and the Canada Water Area Action Plan 2015. The National Planning Policy Framework (2021) is a material consideration but not part of the statutory development plan. A list of policies which are relevant to this application is provided at Appendix 2. Any policies which are particularly relevant to the consideration of this application are highlighted in the report.

ASSESSMENT

Principle of the proposed development in terms of land use

48. Canada Water Dock is identified as a Site of Importance of Nature Conservation, Borough Open Land and Open Water Space. National, regional and borough plan policies strongly support the protection and enhancement of open spaces and water spaces, as they are an essential resource for residents and visitors. Policies P57 and P58 of the Southwark Plan 2022 state that in exceptional circumstances development may be permitted on Borough Open Land and Open Water Space when it consists of ancillary facilities that positively contribute to the setting, accessibility and quality of the open space and does not affect its openness or detract from its character. Development that affects designated open water spaces must ensure that all safety and navigational impacts are minimised. Policy 3.26 from the Saved Southwark Plan corroborates the Southwark Plan 2022 policies.
49. Policy G4 of the London Plan 2021 states that proposals to enhance open spaces to provide a wider range of benefits for Londoners will be encouraged. The Plan cites examples including improved public access, inclusive design, recreation facilities, habitat creation, landscaping improvement or Sustainable Drainage Systems (SuDS).
50. The proposed development at Canada Water Dock is considered to support Policy G4, as the expanse of water will be retained and enhancements are proposed to the ecology and landscaping of the Dock. The proposals would create an accessible environment allowing residents and visitors to engage with and experience nature, through the provision of the boardwalk, southern edge public realm improvements and dipping pond. In addition, sustainable drainage features would be incorporated into the public realm, with surface water from Plots A1 and A2 proposed to drain into Canada Water Dock.
51. It is considered that the nature and ecology of the Dock are important assets that are currently not optimised, therefore the principle of promoting biodiversity and the ecology of the Dock is strongly encouraged, as per Policy G6 of the London Plan and policies P59 and P60 of the Southwark Plan 2022 and policy 3.28 of the Saved Southwark Plan. London Plan policy G6, Biodiversity and Access to Nature, states that improved sustainable access to wildlife sites should be secured by development, where appropriate, so that Londoners can better experience and appreciate the natural environment within the city. The proposed dipping pond, pergola, boardwalk and steps aim to promote engagement and improve the visitor experience of the SINCH habitat.
52. Policy G6 states “the connections between protected sites – green corridors – are often critical in helping to sustain wildlife populations that would be vulnerable if they were confined to isolated areas of habitat. London’s water spaces make up an important set

of habitats in London". Dock Edge Walk, proposed on the southern edge of the Dock as part of the public realm improvements, is a pedestrian route connecting Southwark Park and Russia Dock Woodland across the masterplan.

53. Policy SI17, Protecting and enhancing London's waterways, of the London Plan 2021 states that development proposals along London's docks should respect their local character, environment and biodiversity. Plans should identify opportunities for increasing local distinctiveness and recognise these water spaces as environmental, social and economic assets. Canada Water Dock is strongly related to the history of the local area and it is considered that the proposed developments recognise and support the heritage of the Dock, are of appropriate design and would promote the biodiversity of the asset.
54. Canada Water Dock is a central component to the masterplan and the proposed development is supported in principle, in accordance with the approved Outline Permission. Furthermore, the detail set out in this RMA demonstrates that the proposal would create accessible public realm, enhance ecology and biodiversity and promote leisure, walking and enjoyment of the Dock in accordance with the aforementioned policies.

Conformity with Outline Permission

55. The proposed development is largely in compliance with the approved Outline Permission and the location of the boardwalk and steps accords with the parameter plans. The proposals to the southern edge are contained within an area extending 12m from the existing edge as set out in the Masterplan Public Realm Design Guidelines. The proposals provide an accessible and inclusive high-quality public realm relating to local heritage and enhances ecological features and biodiversity.
56. There are, however, some minor design principles that do not comply with the approved Design Guidelines, as discussed below.
57. The main boardwalk is 4 metres clear width and 4.3 metres total width, which is wider than the Outline guideline of 3 metres width. The increase in width has been explained and justified in the submitted Design and Access Statement and is considered to be acceptable. The increased width allows the provision of benches at regular intervals to assist those who need resting points as well as opportunities to enjoy the views, will increase capacity without compromising social distancing, and will allow buggies and wheelchairs to pass comfortably. The overall width of the boardwalk structure, including the fins, would be 6.7 metres. This is considered to be acceptable as the dimensions of the structure overall have evolved as the detailed design has come forward. The form and structure of the boardwalk was not known and outline stage. The design has been developed as a result of a robust design competition and has been subject to scrutiny by officers. The structure is intended to be read as an undulating wave across the water. The oversailing fins would play an important role in giving the bridge this appearance, which is a positive aspect of the design. As originally submitted, the fins were considered to be too dominant. In response to concerns raised, the fins were reduced in size and spaced further apart. The revised design is considered to be very positive and complies with the intent secured at outline stage.
58. In addition, the height of the boardwalk crossing varies between +5.105m and +5.605m

AOD, which is above the Design Guidelines of +5.50 metres maximum. The Dock edge at the north landing point is +5.880 AOD, which also exceeds the Guidelines. The amendment is considered to be acceptable as it arises from the intention to increase the depth of the water level, which is beneficial in ecological terms.

Environmental impact assessment

59. The Outline Planning Permission (OPP) was considered to be EIA development. An assessment of the likely significant environmental effects of the Canada Water Masterplan was reported in an Environmental Statement (ES) co-ordinated by Waterman Infrastructure & Environment Ltd which accompanied the Outline planning application, submitted in May 2018. This original ES (May 2018) has subsequently been the subject of two ES Addenda (October 2018 and June 2019) and these three documents together comprise the Canada Water Masterplan ES.
60. Condition 7 of the OPP requires each application for reserved matters to contain the information set out in the Reserved Matters Compliance Statement Checklist which includes the requirement for an Environmental Statement (ES) Statement of Conformity (SoC).
61. An ES SoC is a document that considers the details of the relevant RMA and explains the conformity of those details with the conclusions of the environmental impact assessments reported in the Canada Water Masterplan ES.
62. The extent of works proposed as part of this application include the re-grading and re-planting of the Canada Water SINC, the construction of a boardwalk across the western part of Canada Dock, the construction of steps and accessible slopes down to the water on the southern edge of the Dock and the incorporation of a pergola and dipping pond in the south-west corner of the Dock. Associated public realm and landscape improvements to the south of the Dock also form part of the RMA.
63. Associated enabling works, including clearance works within the SINC, Dock wall repairs and the construction of drainage outfalls from the adjacent plots within the Canada Water Masterplan area, would be undertaken in advance of the works to Canada Dock, with approval for those works to be obtained separately via the submission of information pursuant to condition 10 of the Planning Permission which relates to 'Excluded Works'.
64. During construction, a Construction Environmental Management Plan would be implemented to minimise potential impacts on ecology through timing of the works, implementation of sensitive working methods and careful siting and use of lighting. The CEMP is controlled by way of Schedule 23 of the existing s106 agreement.
65. The RMA details for Canada Dock have been reviewed against the Canada Water Masterplan ES by Waterman and all technical specialists who contributed, to confirm that the details conform with the assessment of effects previously undertaken and the mitigation proposed remains proportionate and relevant. The review has identified that the RMA details would not alter the likely significant residual effects previously identified within the approved Canada Water Masterplan ES. However, since submission of the Canada Water Masterplan ES, additional assessments have been undertaken in relation to ground conditions and ecology in order to discharge planning conditions attached to the planning permission and further assessments of the RMA details have

been undertaken in relation to wind to inform this ES SoC.

66. This additional assessment work, which is relevant to the RMA details for Canada Dock, is submitted as 'further environmental information' to supplement the existing Canada Water Masterplan ES. The detail of this further environmental information is summarised below.

Ground Conditions

67. A report on a supplementary ground investigation was prepared in August 2019. This comprised a factual report on five exploratory holes in the landscaped areas on the west and south side of the Dock. This report confirmed ground conditions to be as expected within this area and in accordance with the previous reports undertaken and referenced in the Canada Water Masterplan ES. Further investigations will be undertaken as part of the detailed design, including for the piled foundations within the open water.
68. The proposed works (creation of boardwalk, steps and ecological enhancements) are in accordance with the information included in the Canada Water ES in relation to the works to the Dock. Therefore, there is no change to the residual ground conditions and contamination effects previously identified within the approved Canada Water Masterplan ES as a result of the RMA.
69. Conditions 58, 59 and 60 attached to the OPP seek to control detailed site investigation and remediation and Condition 61 requires any piling methods to be approved.

Ecology

70. An updated Preliminary Ecological Appraisal (PEA) which comprised an updated data search, 'Extended' Phase 1 Habitat Survey and Preliminary Roost Assessment (PRA) was undertaken in September 2020 to determine whether there were any changes to the conclusions set out in the original PEA undertaken in April 2017 and submitted as part of the Canada Water Masterplan ES in May 2018. Updated Breeding Bird Surveys were undertaken between March and May 2021 and Bat Activity and Automated Surveys were undertaken in September 2020, May 2021 and June 2021. The findings of these surveys are reported within a Protected Species Report dated September 2021.
71. The findings of the updated PEA and the Protected Species Report do not significantly vary from previous findings and therefore there is no material change to the relevant baseline. In light of the above, there are no changes to the likely significant ecology effects previously identified.
72. The trees and scrub along the western boundary of the Dock along with the reedbeds in the Dock retain their potential for nesting birds. As such, the recommendations previously detailed within the ES for removing vegetation outside the breeding bird season (i.e. September to February) or if this is not possible, undertaking pre-clearance nesting bird checks where works are undertaken during the breeding bird season (i.e. March to August) remain valid.
73. A lighting strategy has been developed as part of the Canada Dock RMA proposals, contained within Section 8 of the Design & Access Statement. This shows that lighting

levels within the Dock will generally remain below 1 lux, apart from the area adjacent to the boardwalk, where higher levels of illuminance will be experienced. Lighting levels beneath the fins are shown to be 6 lux, however this reflects the calculations undertaken at the maximum output of the luminaire, whereas in reality, taking into account scene setting, the lighting engineers (Speirs and Major) have advised that the actual light level would be around 50% of this output, with light spill reduced to in the region of 3 lux below the fins. While this exceeds the 1 lux assumed in the Canada Water Masterplan ES, it is still considered an acceptable level of lightspill in relation to bats, especially given the localised extent of the higher illuminance levels which reduce to below 1 lux in the wider Dock area.

74. In relation to Dock Edge Walk, while it introduces lighting columns in this area, coupled with other low level lighting to the timber steps and southern Dock edge, the associated lightspill to the adjacent area of Canada Dock remains below 1 lux.
75. The lighting has also been designed to minimise effects upon nocturnal species in accordance with the recommendations set out within the Protected Species report. Therefore, taking into account the above, the light pollution effect on Canada Dock is considered to remain of negligible significance.
76. A pergola with a roof constructed from thatch, shingle, slate, or another natural material, has been proposed in the south-west corner of Canada Dock as part of the Canada Dock RMA proposals. The northern part of the pergola directly overhangs the adjacent Dock. A qualitative assessment of the effects of shading to the Dock as a result of the proposed pergola has been undertaken. The qualitative assessment indicates that the pergola results in minimal additional transient shading to the Dock. For the majority of the year (i.e. Autumn, Winter and Spring) the shading cast on the south-west corner of the Dock is largely influenced by the proposed surrounding buildings, and shading levels do not change significantly as a result of the introduction of the pergola. During the summer months, and at those other times of the year when sunlight is directly cast to the pergola itself, minimal additional shading to the Dock is predicted for the middle of the day as a result of the pergola's overhang. As the proposed planting schedules contain shade tolerant species within these shaded areas and given the limited extent of the area of Dock affected, this shading is not considered to significantly affect the ecology of the Dock.
77. Therefore, taking into account the above, the shading effect on Canada Dock is considered to remain of negligible significance.
78. The detailed landscape plans incorporate a mosaic of wetland habitats including seven islands which will be planted with reed beds, wet woodland (alder and willow carr), and sedge meadow and a range of ponds and channels will also be created at varying depths. The proposals will create enhanced opportunities for nesting and foraging birds and commuting and foraging bats, as well as providing potential new habitats for invertebrates and amphibians. In addition, bat roosting opportunities will be enhanced through the provision of pole mounted bat boxes within the wet woodland along the western boundary. Nesting pipes aimed at kingfishers, which are known to utilise the Dock, will also be provided within steep banksides. Enhancement measures continue to be considered to have a long-term, local, beneficial direct effect of moderate significance with insignificant indirect effects to habitats, breeding birds and designated sites.

79. In light of the above, it is considered that there are no changes to the residual ecology effects previously identified within the approved Canada Water Masterplan ES as a result of the RMA.
80. The detailed ecology impacts arising from the proposed works to the Dock are discussed in the ecology assessment section below.

Wind

81. Computer modelling of wind conditions was undertaken by RWDI on the Canada Dock RMA proposals and the results presented in a Pedestrian Level Wind Microclimate Assessment Report. Results are presented in terms of the 'Lawson Comfort Criteria' which ascribe wind conditions in terms of their suitability for different activities (walking, strolling, sitting etc.) with the main focus on the windiest (generally winter) season and the summer season, when amenity spaces are expected to be most frequently used. As is typical for wind assessments, the computer modelling was undertaken in the absence of landscaping.
82. The following three configurations were simulated:
- Configuration 1: Canada Dock with Phase 1 (Plots A1 and A2) of the Canada Water Masterplan (Plot K1 was excluded due to distance) and Existing Surrounding Buildings;
 - Configuration 2: Canada Dock with the Full Canada Water Masterplan (Plots A1, A2 and the maximum parameter masterplan) and Existing Surrounding Buildings; and
 - Configuration 3: Canada Dock with the Full Canada Water Masterplan (Plots A1, A2 and the maximum parameter masterplan) and Cumulative Surrounding Buildings
 - In addition the applicant has reviewed the possible effects of the current proposal for the Canada Water Dockside Application (21/AP/2655) as a potential scheme which could affect the wind conditions.
83. The wind flow patterns would not be noticeably altered as a result of the RMA details. However, the RMA introduces new pedestrian walkways (thoroughfares) and seating areas, the precise details of which were not known at the Outline planning application stage. As a result, the wind conditions at these locations have been reviewed through the computer analysis to determine whether they are suitable for the intended uses.

Thoroughfares

84. The assessment undertaken confirms that wind conditions at the pedestrian walkways, including the proposed boardwalk, are predominantly suitable for strolling or standing, representing suitable or better conditions than desired for thoroughfares designed for strolling (an insignificant or minor beneficial effect). However, in a couple of locations, namely the southern corner of Canada Water Library and the north-west corner of the shopping centre (location of the existing Range store), conditions suitable for walking rather than strolling, with the potential for occasional strong winds, would be experienced during the windier winter season (slightly windier than desired). The Canada Dock RMA proposals are not the cause of these conditions, which would also be expected to occur if the Dock proposals did not come forward. In the case of the

north-west corner of the Range, these conditions only represent a temporary state, being replaced by suitable wind conditions when the wider Canada Water Masterplan proposals come forward. Conditions at the southern corner of Canada Water Library also improve slightly as the wider Canada Water Masterplan proposals come forward.

85. Consideration has been given to the potential to introduce additional landscape planting in the area surrounding the Canada Water Library to mitigate these pre-existing effects, however due to the presence of existing structures in this area (including the existing tube station entrance and library 'overhang') and the restricted opportunities for evergreen planting within the immediate surrounds, it is not possible to achieve this, resulting in a minor adverse effect.

Seating areas

86. Three areas of seating are proposed as part of the RMA. The first is on the timber steps which would be constructed on the southern edge of Canada Dock (which also incorporate the pergola in the south-west corner). The second is on the northern landing zone, and the third is along the boardwalk. The conditions at these seating areas are discussed below.
87. The proposed timber steps situated at the southern Dock Edge would experience conditions suitable for standing in the summer season which would be slightly windier than is desirable for sitting, resulting in a minor adverse effect. However, on calmer days, the lower wind speeds would result in the steps being more comfortable. Conditions on some areas of the steps would also improve when the wider Canada Water Masterplan proposals and surrounding schemes come forward.
88. Consideration has been given to the introduction of 1.5m high hedges or screens to mitigate these effects, however the applicant considers that this could detract from the intended views across the Dock, and hence also from the enjoyment that people would experience from the increased accessibility to the Dock. Hedges or screens could also create places for people to hide behind at night, potentially resulting in safety concerns. Taking into account these factors, it is considered that the potential disadvantages of such wind mitigation measures would outweigh the benefits of their provision, and a minor adverse effect would therefore remain.
89. The pergola situated to the west of the timber steps, which includes seating on the steps beneath its circular roof, would experience conditions suitable for standing before the wider Canada Water Masterplan proposals come forward (resulting in a minor adverse effect in this interim scenario). Conditions would be suitable for sitting once the wider Canada Water Masterplan proposals come forward.
90. Seating situated close to the northern landing zone for the boardwalk would have conditions suitable for standing in the summer season, slightly windier than is desirable for sitting, resulting in a minor adverse effect. However, on calmer days, the lower wind speeds would result in the seating being more comfortable. There are restricted opportunities for planting within the immediate area to mitigate these effects, particularly taking into account the proximity to the entrance of the Canada Water Underground Station and Library entrance where it is important to maintain clear sightlines for wayfinding, access and security reasons. Taking into account these factors, it is considered that the potential drawbacks of localised planting close to the seating area would outweigh the benefit of its provision, and a minor adverse effect would therefore

remain.

91. Seating situated on the boardwalk would have conditions suitable for standing in the summer, slightly windier than is desirable for sitting, resulting in a minor adverse effect. However, as with the other seating areas, on calmer days the lower wind speeds would result in the seating being more comfortable. There are limited opportunities for the inclusion of mitigation measures such as hedging, screens, or shrubs in planters placed closely to the seating to mitigate the effects, as these could impede accessibility across the boardwalk and affect views from seating areas. Nevertheless, the applicant considers that it is important to provide seating along the boardwalk to give people the option to sit, particularly on calmer days.

Changes to the pergola design

92. The pergola design has changed since the wind assessment was undertaken; this design change has therefore been assessed qualitatively. The pergola now features a circular roof, with steps underneath the pergola to be used as seating. Wind conditions underneath the pergola were identified as being suitable for standing use in Configuration 1, and for sitting use in Configurations 2 and 3, representing a minor adverse effect in Configuration 1 (an interim scenario), and an insignificant effect in Configurations 2 and 3. The redesign of the pergola does not feature walls, similar to the previous design, therefore winds would still be expected to flow into this space as per the wind assessment. The roof structure would be expected to have a similar beneficial sheltering effect, consistent with the previous design. Taking this into consideration, wind conditions would be expected to remain similar to those assessed quantitatively, resulting in the effects detailed above.

Wind summary

93. The assessment undertaken in respect of wind conditions is appropriate for the purposes of identifying likely environmental effects. It is recognised that on windier days there will be some instances where seating areas are subjected to higher than recommended wind conditions. However, the applicant has demonstrated that all possible mitigation has been incorporated into the design of the landscaping whilst also taking account of the need to respond to the ecology of the SINC, to maintain safe and open views across the site and respecting the overall design intent. On balance it is considered that the public benefits of providing seating in the areas proposed outweighs the potential adverse impacts that may arise in terms of wind on a limited number of days throughout the year. Furthermore, an analysis of the potential impact arising from the current Canada Water Dockside proposed development (21/AP/2655) has revealed that there would be no noticeable effect.

Original ES topics

94. Given the nature of the proposals, which do not comprise built development involving bulk, massing or height (save for the single storey pergola); do not generate operational floorspace; and will not result in activities with the potential to result in effects upon the amenity of nearby sensitive receptors, there would be no effect on the assessments undertaken in relation to socio economics, transport, noise & vibration, air quality, daylight, sunlight, solar glare and light pollution (aside from where relevant to Ecology) and townscape and visual impacts presented in the Canada Water Masterplan ES. These topics are therefore not considered further in the SoC.

Water resources and flood risk

95. There have been no changes to baseline flood risk data since production of the approved Flood Risk Assessment (dated May 2018, which comprised Appendix 12.1 of the Canada Water Masterplan ES). Surface water runoff from adjacent areas would be discharged to the Dock, in line with the approved strategy.
96. In light of the above, there is no change to the residual water resources and flood risk effects previously identified within the approved Canada Water Masterplan ES as a result of the RMA.

Archaeology (buried heritage)

97. The proposed boardwalk would have no new impact on below ground archaeological remains. The proposed boardwalk is within the extent of the former No 1 Timber Pond which subsequently was renamed Albion Pond and then later Canada Dock as Albion and Canada Ponds were merged to form Canada Dock in the late 19th century. The proposed boardwalk is within an area assessed in the original Archaeology chapter and Technical Appendix of the Canada Water Masterplan ES and defined as having no potential for the survival of archaeological remains apart from palaeoenvironmental remains beneath the floor of the pond/Dock and structures relating to the pond/Dock walls; all other archaeological remains will have been removed by the construction of the ponds.
98. Given the above, archaeological mitigation would be expected to be sufficiently addressed by way of monitoring which would comprise a programme of archaeological mitigation works, a watching brief (with the capacity to extend to full excavation if required), during the excavation for foundations to ensure that any archaeological remains encountered are not removed without prior recording, so that their significance can be understood. The applicant shall carry out any such works in accordance with a written scheme of investigation (WSI). This matter is controlled by condition 64 on the OPP.
99. In light of the above, the proposed boardwalk would not result in any change to archaeology (buried heritage) effects and no further /new mitigation other than previously identified within the approved Canada Water Masterplan ES is considered necessary.

Conclusion on the ES

100. The proposals for Canada Dock and, where relevant, further environmental information prepared to discharge planning conditions or to inform the assessment of the RMA, have been reviewed by the technical specialist authors of the Canada Water Masterplan ES. This review has concluded that the proposals for Canada Dock are in conformity with the findings of the Canada Water Masterplan ES, with the exception of the wind assessment, where a small number of locations would experience slightly windier than desirable conditions for either strolling or sitting, representing new residual effects of minor adverse significance.
101. Overall the original ES together with the additional information submitted as part of the ES Statement of Conformity remains valid for the purposes of decision making.

Ecology and biodiversity

102. Policy G6 of the London Plan 2021 states that development proposals should manage impacts on biodiversity and aim to secure net biodiversity gain. This should be informed by the best available ecological information and addressed from the start of the development process. Proposals which reduce deficiencies in access to nature should be considered positively. The policy goes on to state that improved sustainable access to wildlife sites should be secured, where appropriate, so that Londoners can better experience and appreciate the natural environment within the city and cites green corridors as often critical in helping sustain otherwise vulnerable wildlife populations. The policy seeks to protect SINC's but acknowledges that where harm is unavoidable it should be mitigated.
103. Policy SI17, Protecting and enhancing London's waterways, of the London Plan 2021, states that ancillary uses can add to the diversity, vibrancy and regeneration of waterways, in particular in docks and basins. Policy G4 and G5 also emphasise the importance of the protection and enhancement of opportunities for ecology and biodiversity. Southwark Plan saved policy 3.28 and Southwark Plan 2022 policy P60 focus on biodiversity. P60 states that development must contribute to net gains in biodiversity through enhancing the nature conservation value of Sites of Importance for Nature Conservation (SINC's).
104. The Council employed an independent Ecologist to assist with the Reserved Matters Application to ensure that the full ecological impact has been robustly considered.
105. The Canada and Surrey Water SINC covers an area of 3.87ha. The site consists of two disused dock basins (Canada Water Dock and Surrey Water) connected by the Albion Channel. The western bank of Canada Water Dock was landscaped to provide conditions suitable for reedbed and boggy areas of willow and alder woodland, as well as retaining areas of open water. Breeding birds recorded at the SINC include mute swan, tufted duck, mallard, moorhen, coot and reed bunting. Large numbers of tufted ducks are present in winter. Kingfishers are reported occasionally. Surrey Water has dense submerged growth of rigid hornwort, fennel pondweed and Canadian waterweed, providing habitat and a breeding site for fish. Common blue-tailed, azure and possibly other species of damselflies have been recorded breeding in parts of the SINC.
106. Over time the wetland habitat has been overgrown with wooded scrub and the water levels have decreased due to silt build up reducing suitability for aquatic vegetation and fish species. These changes are considered to have reduced the ecological interest of the SINC. As such, it is proposed as part of the wider Canada Water Masterplan to carry out works to the Canada Water section of the SINC in order to improve biodiversity.

107. Habitat management works will include the removal of the colonising woodland/scrub habitat, restoration of woodland and meadow and regrading and rewetting of reedbed and water-margin habitat. The existing vegetation will be removed, the sediment re-profiled and removed from some areas and deposited in others to create varying water levels, and water channels and ditches created within the western wetland area. The re-planting will consist of wetland habitat including reedbeds, wet woodland and wet meadow.
108. Access works comprise the construction of a boardwalk across the western side of the site, steps and accessible slopes down to the water on the southern edge, and a pergola and dipping pond in the south-west corner of the site.
109. A range of ecological surveys were undertaken between 2014 and 2021 to inform the wider Canada Water Masterplan development. Surveys undertaken at the Canada Dock section of the site have consisted of
 - A Preliminary Ecological Appraisal including extended Phase 1 Survey;
 - Bat activity surveys;
 - Breeding bird survey;
 - Fish survey; and
 - Aquatic Invertebrate survey
110. The Preliminary Ecological Appraisal (PEA) determined that the standing water and reedbed habitats in the site were considered to be of value at the County level, due to their rarity in London and because they are both classed as Key Habitats in the Southwark Biodiversity Action Plan (BAP). All other habitats on site were classed as of value at the Site level only.
111. It is considered that the assessment of the habitats types and extent on site detailed within the 2020 updated PEA is accurate, noting however that the standing water and reedbed habitats form a reason for designation of the SINC which is of borough importance for nature conservation.
112. The condition of the existing habitats was assessed for the Biodiversity Net Gain (BNG) Assessment during the 2020 PEA update and based on the condition assessment guidance within the DEFRA 2.0 Metric Technical Guidance. All the habitats on site were classed as either being of poor or fairly poor condition.
113. Species specific surveys showed that the site supports low numbers of foraging common and soprano pipistrelle and noctule bats; a number of breeding bird species including waterfowl such as mute swan, tufted duck and great crested grebe; a limited assemblage of fish species and no aquatic invertebrate species of conservation value. This largely aligns with the reasons for designation of the SINC.
114. It is not considered that ecological surveys are required for any additional species such as reptiles or great crested newts.
115. It is considered that the survey effort for bats and breeding birds and the assessment of the value of the site in its current condition for these species groups is correct.

116. It is considered that the fish and aquatic invertebrate surveys are correct.
117. The Environmental Statement Briefing Note prepared by Watermans in December 2021 identified that after the mitigation measures proposed there will still be residual negative impacts on birds during the construction phase and a positive impact during the operation phase. All other impacts were classed as non-significant after the embedded mitigation measures detailed in the report are carried out.

Construction related impacts

118. If clearance works are carried out between the months of September to February, there will be no impact to breeding birds in relation to death and/or injury. The applicant has confirmed that they will not undertake any works during nesting season. An Informative is recommended to this effect.
119. It should be noted that the proposal could reduce the nesting and feeding opportunities for swans that breed at the site and are known to be site-faithful. The potential harmful impact in this respect is acknowledged. However, in the long term the proposal would provide enhanced opportunities for breeding birds and therefore on balance this is considered to be acceptable.
120. It is acknowledged that the proposal will give rise to temporary, local, adverse effects of moderate significance upon breeding birds at Canada Water Dock until the proposed landscaping has become established. This is regrettable but unavoidable and the long term ecological enhancements are considered to outweigh the short term adverse effects. The applicant is committed to minimising the harm to ecology and existing habitats and species, they have undertaken robust analysis to inform the detailed proposals and are committed to minimising the time period for any disturbance. Appropriate measures have been secured as part of the OPP to minimise the adverse effects during construction.
121. The Environmental Statement submitted and approved as part of the OPP identified the potential for the works to the Dock basin to result in damage to wildlife from the release of contaminants within the silt. With the implementation of control measures it was determined that there would be no significant residual impact. It should be noted that the OPP is subject to detailed conditions in respect of contamination surveys, mitigation and any piling techniques.
122. With the creation of wetland habitat and the management measures detailed within the Ecology Management Plan the ES determined that the completed development will result in a long-term, local, beneficial effect of moderate significance.

Summary of construction impacts

123.	Impact	Residual effect after embedded mitigation
	Death and/or injury to nesting birds	Non-significant if clearance undertaken outside of nesting season
	Loss of breeding bird habitat	Temporary, moderate adverse
	Damage through pollution	Non-significant with controls
	Creation of breeding bird habitat	Long-term, moderate beneficial

124. The applicant's assessment of construction related impacts is considered adequate and robust.

Lighting related impacts

125. The Demolition Environmental Management Plan Outline Specification states that working hours on the site will be 08.00 to 18.00. As long as the site is not lit outside of these working hours for security purposes, there should be negligible impacts on wildlife such as bats resulting from lighting during the construction period. If lighting outside of the working hours is required this would be controlled via the obligation to provide a detailed CEMP which would be subject to review by the Council's Ecologist. With this in mind sufficient controls are in place to prevent any harm to ecology arising.
126. Subject to the detailed CEMP, it is not considered that the construction impacts would give rise to any harm to bats. Furthermore, operational lighting will be subject to detailed control under condition 89 of the OPP which provide the Council with sufficient control to ensure that there would be no operational harm to bats.
127. The proposals include the creation of a boardwalk through the wet land and reedbed habitat created in the west of the site. A outline lighting strategy is contained within Section 9 of the Design and Access Statement that contains measures such as directional lighting, LED lighting, baffles and louvres to minimise spill, low lighting fixtures on the boardwalk and a lighting control system to reduce light levels outside of the peak night time pedestrian times. As long as these measures are adopted within the completed development, there should be no significant increase in lighting disturbance to wildlife. This is controlled by condition 89 attached to the OPP.

Summary of lighting impacts

128.	Impact	Residual effect after embedded mitigation
	Disturbance from construction related lighting	Non-significant if suitable measures included within CEMP
	Disturbance from operational related lighting	Non-significant with measures detailed in Design and Access Statement

Shading related impacts

129. The 2018 Environmental Statement for the Canada Water Masterplan project found that the Canada Water Dock SINC would be overshadowed by the surrounding development in the afternoons only. This was deemed to be insignificant due to the transient nature of the overshadowing and the limited time scale each day. The detailed proposals submitted as part of this RMA do not result in any increase in overshadowing. Furthermore the proposed plant species and type of habitats to be created are appropriate given the level of shading that will occur.

Summary of overshadowing impacts

130.	Impact	Residual effect after embedded mitigation
	Damage to habitat/species from over shadowing	Non-significant

Potential risks to biodiversity

131. Outline measures for construction measures relating to pollution run off, silt disturbance, removal of invasive species and the protection of retained ecological features such as trees are given in the Dock Demolition Management Plan and the Ecology Briefing Note. The measures detailed are to be used to inform the CEMP for the site. These measures are considered appropriate for the works proposed. The detailed CEMP will be subject to review by the Councils Ecologist.
132. The Overall Delivery Programme provided by British Land identifies that piling for the step and ramp creation on the southern side of the site will be undertaken between July and October. This partially coincides with the spawning period for some species of fish, as the spawning season for fresh water fish is generally considered to be March to August. As the fish survey only recorded a limited (species-poor) assemblage of fish and no species of conservation interest were recorded in 2017 there is considered to be a low risk of disturbance to spawning fish from the piling works.
133. The programme states that the vegetation in the west of the site will be cleared between February and September 2022. However, the Applicant has committed that clearance will be undertaken in February, prior to the bird nesting season. As the habitat replacement will not be carried out till June 2023 the site will not be available as a foraging and breeding site for bats and a range of bird species for a single breeding season. However the Ecology Statement Briefing Note from December 2021 states that some of the existing reeds and marginal vegetation could be harvested and relocated to other parts of the Dock, along with new areas of marginal planting on floating coir rolls etc. This could partially mitigate for the temporary loss of habitat during the site clearance works. The temporary relocation of the reedbeds should be controlled by way of the recommended condition.
134. The proposed Outline Programme for the works to be undertaken is considered to be appropriate. It should be noted that a detailed programme will be agreed as part of the CEMP as required by Schedule 23 of the s106 agreement attached to the OPP.

135. The submitted Management Plan for the SINC covers a 5 year period. However, reedbed and wet woodland habitat takes a minimum of 7 years and 15 years respectively to become fully established. Consequently, there will be a minimum 15 period required for management. This can be controlled as part of the Ecological Management Plan to be submitted under Schedule 3 of the s106 agreement.
136. The proposal aims to improve the site for visitors and will result in increased human activity. The SINC is located in a highly urban area already subject to high levels of disturbance and visitor access will be restricted to the boardwalk along the edge of the wetland habitat and the steps and pond area in the south of the site. In addition, signage and boards will be installed to encourage “quiet enjoyment” of the wildlife present. As such, it is not considered likely that the proposals will result in a negative impact on wildlife from human disturbance.

Summary of risks

137.	Risk	Level of Risk	Measures to Reduce Risk
	Baseline habitat condition in BNG Assessment being undervalued	Low to Moderate	Re-assess habitat condition in spring
	Disturbance to spawning fish from piling	Low	Move piling to late August
	Lose of breeding bird habitat for a season	Moderate	Harvesting and relocation of reedbed and marginal vegetation
	Failure of reedbed due to programme slip	Low	Inspection and supplemented planting if required
	Failure of woodland planting	Moderate	Move planting to winter months or supplement planting if required.
	Habitat not reaching required condition	Moderate	Amendment of management plan to at least 15 years
	Lighting disturbance to wildlife	Low	Measures in Design and Access Statement to be conditioned

Benefits to Biodiversity

138. The Biodiversity Net Gain Assessment found proposed development of the SINC will result in an increase of 10.77% biodiversity units. This is a significant and positive benefit of the proposal.
139. The proposed re-planting will result in a wider range of plant species than currently present. This is likely provide a foraging resource for a wider range of invertebrate species and in turn a better foraging resource for species such as bats and birds.

140. The creation of new reedbed as well as the retention/translocation of existing reedbed will result in an increase of this habitat, which is classed as a habitat of key ecological importance in Southwark. This will also provide additional habitat for bird species previously recorded on site such as tufted duck and reed warbler, and for invertebrate species such as damselfly.
141. It is concluded that the proposals for the site will result in an increase of the biodiversity value of the SINC for habitats and species groups such as bats, birds and terrestrial invertebrates. This is a positive benefit and will outweigh any short-term harm arising from the construction impacts.

Summary of ecological impacts

142. It is considered that the planting and enhancement measures detailed in the proposal for the Canada Water Dock will result in a significant and positive increase in the biodiversity value of the site. Subject to appropriate controls during construction and in terms of operational lighting any harm to ecology would be minimised.
143. It has become apparent during the assessment of this application that the wider Dock could benefit from additional ecological enhancements. The area of Dock that sits beyond the red line boundary (and ownership) of this application could be improved in the future. Further enhancement measures could include the installation of a tern raft and floating vegetation islands within the open water to provide habitat for a range of fish species. It is noted that the OPP was subject to a s106 obligation for a contribution towards ecological monitoring and enhancements in the wider Masterplan area.

Design

144. Policy D3 of the London Plan 2021 states that development should respond to the existing character of a place by identifying the special and valued features and characteristics that are unique to the locality. Policy D3 states that urban greening should be maximised, as creating green open spaces provides attractive places for Londoners to relax and play, and helps make the city more resilient to the effects of climate change. Policy D4 expands on the importance of delivering good design.
145. Policy D5, Inclusive Design, states that development should achieve the highest standards of accessible and inclusive design and provide high quality people focused spaces that are designed to facilitate social interaction and inclusion. Links to the wider neighbourhood should also be carefully considered, including networks of legible, logical, safe and navigable pedestrian routes.
146. Policies P13 and P14 of the Southwark Plan 2022 reinforce the importance of good design, as does Strategic Policy 12 of the Core Strategy 2011. P13 states that development must better reveal local distinctiveness and character and ensure a high quality public realm that encourages walking and cycling and eases the movement of pedestrians, cyclists, wheelchairs and mobility scooters. P13 also focuses on the need for development to provide opportunities for formal and informal play and the provision of adequate outdoor seating for residents and visitors. Good public realm design is essential as it improves the streetscape and creates a sense of place with vibrant,

pleasant environments that people will take pride in and enjoy.

147. Canada Water Dock is an important ecological asset and key landmark at the heart of the town centre. The proposed boardwalk, pergola, dipping pond, the creation of the southern edge public realm and re-planting of the SINC on western edge would create a high quality public realm towards which town centre users would gravitate.

Boardwalk

148. The timber boardwalk would be the first piece of new public space people would encounter arriving from Canada Water station. The boardwalk curves in plan and the level of the main boardwalk would vary along its length, rising and falling by 0.5 metres between high and low points approximately 25 metres apart.
149. All gradients on the boardwalk are shallower than 1:30. The section below shows the gentle undulations of the boardwalk.

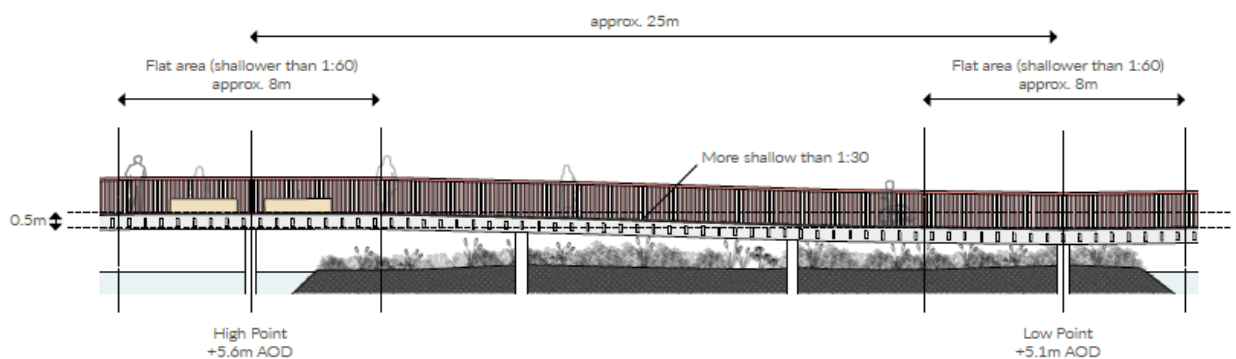


Image: Section to show boardwalk construction

150. The undulating and curved form of the boardwalk intends to reflect a natural environment and the curved timber fins underneath the main boardwalk would follow the undulations to create a distinctive identity and provide a link to the heritage of the area. The curved timber fins are inspired by the long timber planks carried by the Deal porters. The timber fins are 200mm in depth and would project 1.20 metres on both sides of the boardwalk and be spaced approximately 0.525 metres apart. The extent of the fin horizontally would approximately match the extent of the balustrade vertically, thereby adding dynamism to the form of the boardwalk.
151. The applicant has submitted views of the boardwalk and fins from different angles and it is considered that the dimensions of the fins are appropriate and balanced against the boardwalk width, within the context of the size of the Dock.
152. The boardwalk will be made of timber with a red finish for the decking and balustrade. The timber fins are proposed in a natural finish, to reflect off the water. The red finish has been proposed to create a sense of place and identity and to acknowledge local heritage: the red of the maple leaf and the red bascule bridges in nearby Rotherhithe and Surrey Quays. In addition, the red colour of the boardwalk will provide a distinctive contrast to the green colours of the wetland.
153. The boardwalk balustrade would be 1.1 metres in height. The boardwalk would be supported on piers made up of 2 or 3 piles and the landings would be supported by individual piles.

154. Benches are provided on the main boardwalk within 50 metre intervals on flat areas, therefore the 4 metre width is considered to be acceptable to allow all user groups to access and enjoy the boardwalk. The north landing of the boardwalk, immediately next to the station, would comprise 90 sqm of decking with a large circular meeting bench approximately 3.5 metres in diameter.
155. The Design and Access Statement details that the benches will visibly contrast with the red finish of the timber decking and balustrade to reduce the risk of collision. Specific design details of the benches will be subject to the landscaping condition attached to the OPP. The image below shows the indicative bench locations.



Image: Indicative bench locations

156. The boardwalk would pass through the three wetland zones and past the Deal Porters statue, creating an attractive pedestrian route and high amenity environment. The 99mm gap between the balusters (spindles) would give the opportunity for children and seated observers to view and enjoy the surrounding wetland.
157. Overall, it is considered that the boardwalk design creates a distinctive visual identity for the Dock, promotes opportunities for all user groups to get closer to nature, and enhances pedestrian access throughout the wider town centre. The amendment to the dimensions and spacing of the fins and accompanying visualisations submitted by the applicant demonstrate that views would not be negatively impacted over the wetland from the boardwalk.

Re-planting of the SINC on the western edge

158. The western edge of the Dock is proposed to be restored with a new wetland habitat comprising seven wetland islands supporting a mosaic of habitats. The mosaic is characterised by three main habitats; reedbeds, wet wood and wet meadow, and pond.

The boardwalk would pass through the three habitats, providing visually pleasing landscapes. The image below demonstrates a view of the wet woodland habitat. The ecological impacts of the proposed development will be assessed under the ecology section of this report.



Image: CGI of the proposed bridge and habitat areas

Pergola

159. The pergola is located in the south-west corner of the site and is designed to provide a versatile dockside setting for visitors to spend time and relax. The pergola is intended to be fully accessible to the public, via steps and sloped ramped access.
160. The pergola is 13.50 metres in width, with a large opening of 5.60 metres diameter at the apex of the roof, designed to let in light. The pergola is 5.8 metres in height from the top of the steps and 6.80 metres from the base.
161. The roof is proposed to be a timber structure on timber columns. Several options are proposed in the Design and Access Statement for the roof covering, including thatch and timber shingle. Stepped concrete seating is proposed underneath the pergola roof. Further details of the materiality of the proposal will be submitted as part of the detailed materials condition attached to the Outline Permission, but the concept of using natural materials for the roof is supported.
162. The pergola's simple design and low level structure is considered to be appropriate for the wetland setting and would provide an attractive, accessible and inclusive piece of public realm, thereby complying with policy P13 of the Southwark Plan 2022.



Image: CGI of proposed pergola



Image: CGI to show pergola, dipping pond and southern Dock edge

Dipping pond

163. The dipping pond aims to encourage greater interaction with the Dock and connect both children and adults with nature in an urban setting. The dipping pond is intended for public use, however access will need to be controlled for both safety and maintenance, and to maintain the ability to use the space for particular events and groups, such as local school visits.

164. The dipping pond is circular, measuring 15 metres in diameter, and enclosed by a 2 metre wide timber boardwalk. It is linked to the pergola and in direct connection with the stepped seating. A low rail is present around the dipping pond, providing an edge delineation and offering a level of protection to user groups using the space.
165. The introduction of a dipping pond is directly correlated to the vision of Canada Water Dock, to promote biodiversity and the engagement experience with the water. The simple design and continued use of timber is appropriate to the setting.



Image: CGI of dipping pond

Public realm on southern Dock - water's steps, wetland steps and Dock Edge Walk

166. The southern edge of Canada Water Dock would be enhanced as a piece of public realm to comprise new steps, seating areas and sloped access to provide a place for gathering and leisure and allow people to get closer to the water. The current Dock wall and railings and the lower water level means people are held at a distance from the water body. The boardwalk divides the southern steps into two areas, the water's steps and wetland steps, each approximately 12 metres in depth.

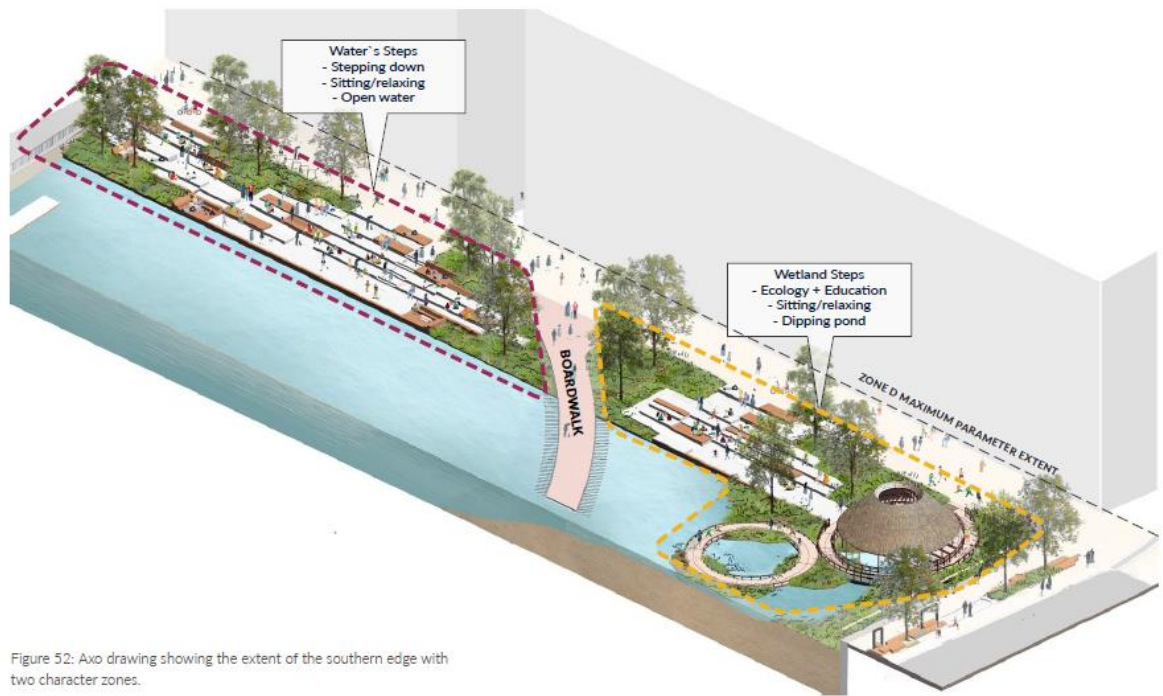


Figure 52: Axo drawing showing the extent of the southern edge with two character zones.

Image: CGI of southern edge

167. The water's steps are located on the eastern side of the southern Dock edge and face the open water. The layout aims to create a flexible space to support a variety of activities and events. A low barrier is proposed along the water edge to demarcate the edge without impeding the views. To facilitate access to the water level, both steps and sloped routes are proposed, to give equal and inclusive access.
168. Water's steps is designed in three sections, a central section characterised by a traditional amphitheatre style seating arrangement and two side sections of seating amongst planting, including the introduction of 'chaise lounge' long reclining benches. Two types of tables are incorporated into the design of water's steps to create gathering points and two platform benches have been located at each end of the waters level platform.
169. The materials proposed for the water's steps take into account local heritage by utilising large format simple materials to respond to the nature of the former docks. Further details of the materials used will be provided in the hard and soft landscaping condition.
170. The wetland steps are located on the western side of the southern edge, with direct connection to the wetland area of the Dock. The area is characterised by three main spaces: seating steps, dipping pond and pergola. The design of the dipping pond and pergola have been assessed in earlier sections of this report.
171. The seating steps are proposed to be a communal and ecological space for educational and community purposes. They are located close to the wetland area of the Dock and the dipping pond. It is designed to accommodate large numbers of children, used for schools and for hosting events. Varied seating heights have been proposed for children of different ages. They are accessible via sloped access and a low barrier has been proposed to demarcate the water's edge. The seating steps are open to all members of the public other than at times when the being used by schools. The image below demonstrates the vision for the seating steps.



Image: CGI of steps

172. The application suggests that informal play space is incorporated into the seating steps and dipping pond. Whilst this is a welcome addition to the design to encourage children and young people to interact with the Dock, these facilities do not form part of the formal play provision required for the residential elements of the Masterplan. Formal play provision will either be met within each residential plot or appropriate formal facilities will be made available in other public spaces such as the Park.
173. Dock Edge Walk is proposed to form part of the Green Link, a strategic connection between Southwark Park and Russia Dock Woodland. Under the maximum parameters for the adjacent Zone D, the route has a minimum width of 8.70 metres and maximum width of 10 metres; this could be augmented by additional space once the detailed design of Zone D is brought forward. Robust granite kerbs are proposed to define the edge between the carriageway and the pedestrian area and the space is designed as a shared space where pedestrians and cyclists are prioritised, and any vehicular access would be restricted for emergency or maintenance vehicles only.
174. A tree pit zone is proposed to line Dock Edge Walk to demarcate the boundary between the shared space and the dockside steps and seating. The future development of Zone D is proposed to sit to the rear of Dock Edge Walk. As such, the walk will be delivered with a temporary finish with the permanent finish delivered once Zone D has been completed.

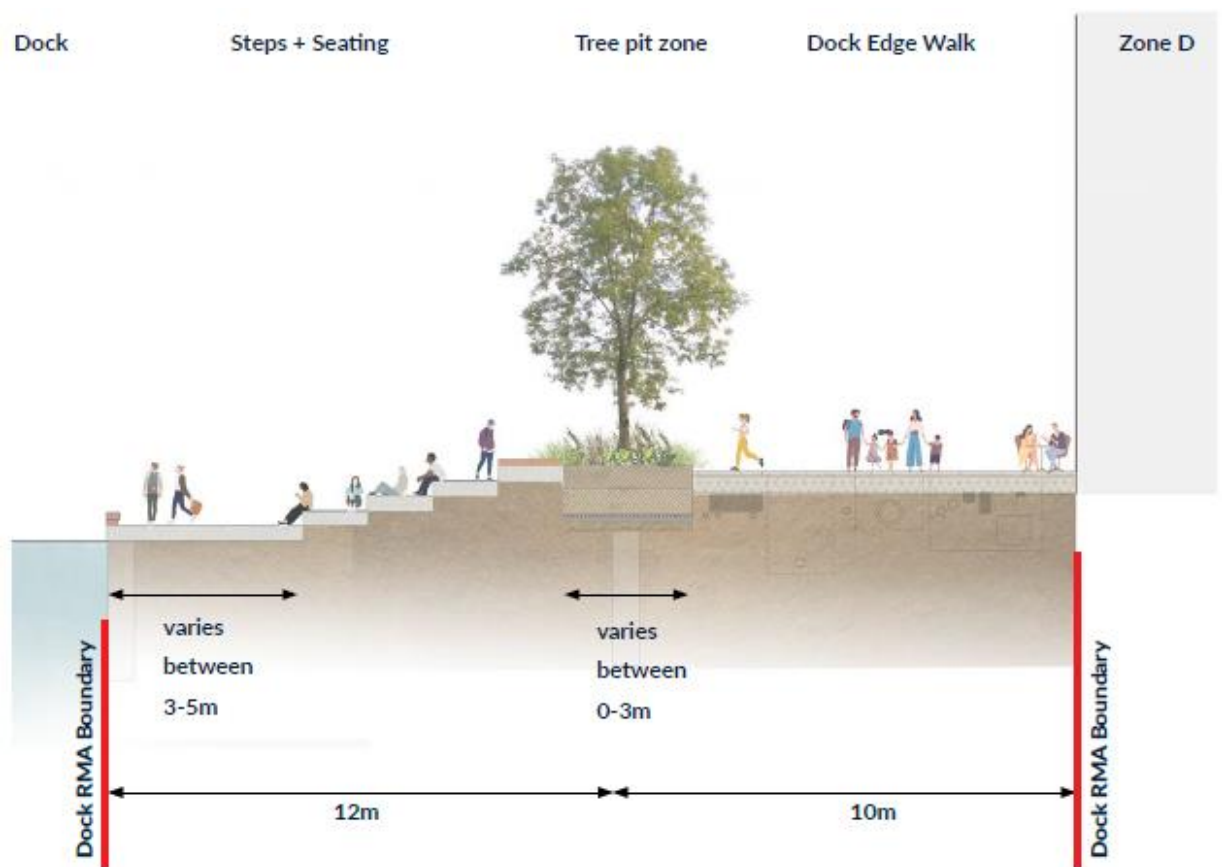


Figure 69: Section through Dock Edge Walk

Image: CGI to show relationship of the Dock Edge and Zone D

175. The Design and Access Statement states that the southern edge public realm draws inspiration from staked deal and floating timbers in the former timber ponds. The variety in the section of seating is designed to create a mixed space for a variety of users. Subject to high quality execution and controlling detailed materials through conditions, the proposal is considered to deliver a high quality public realm and encourage greater interaction with and enjoyment of the currently underutilised Dock.

Designing out crime

176. Policy D3 of the London Plan 2021 states that measures to design out crime should be integral to development proposals and be considered early in the design process. Developments should ensure good natural surveillance, clear sight lines, appropriate lighting, logical and well-used routes and a lack of potential hiding places. Policy P16 of the Southwark Plan 2022 reinforces this and states that development must provide clear and uniform signage that helps people move around and effective street lighting to illuminate the public realm. Policy 3.14 of the Saved Southwark Plan also focuses on designing out crime.
177. A Security Strategy has been submitted in the Design and Access Statement which details measures to manage pedestrian movement and control, wayfinding, crowded spaces, vehicle access, signage and safety and security. The wider strategy for the public realm aims to balance passive natural surveillance with CCTV and lighting proposals would focus on two main areas, the public realm at the southern Dock edge and the boardwalk.

178. An illustrative Signage and Information Strategy has been provided as part of the Design and Access Statement, which is proposed to be submitted in further detail under condition 73.
179. The proposed development incorporates 'Secured by design' principles which are encouraged to deliver a safe and accessible environment. The management of the public realm will be undertaken by British Land. Overall, it is perceived that sufficient consideration has been given to measures to design out crime in the proposed development. Furthermore condition 73 attached to 18/AP/1604 requires all elements of the Masterplan to achieve 'Secured by design' accreditation.

Site safety

180. Policy D11, Safety, security and resilience to emergency, in the London Plan 2021 states that development proposals should minimise potential physical risks and measures should be considered at the start of the design process to ensure that they are inclusive and aesthetically integrated into the development.
181. As the proposals would open up the Dock along the southern edge and bring people closer to the water level, a Water Safety Review was requested in order to protect public safety along the Dock edge and boardwalk. The Design and Access Statement submitted also includes a Safety Strategy and water interface typologies (barriers) such as the boardwalk balustrade, cable fencing, low rail and low barrier provide safe barriers to demarcate the water edge throughout the site.
182. The Water Safety Review evaluated the barriers using The Royal Society for the Prevention of Accidents (RoSPA) risk rating tool and offered recommendations. The proposed barriers evaluated include a hard landscape edge, a 1100mm high timber topped railing with wire infills, a post and cable within landscaping vegetation, a low rail to the dipping platform and a balustrade railing along the boardwalk.
183. The review found a low risk level rating for the development and a medium risk rating for the type 1 edge; the hard landscape edge. The review recommended that benches be placed far enough away, approximately 525mm, from dropped edges of the balustrade railing along the boardwalk to prevent easy climbing from the benches onto the rail. The report also recommended that water depths be maintained as planned around the dipping platform after construction, and signage should be installed at entry points to state the need for adults to supervise children and ensure good hygiene after interacting with the water. The report considered an outward opening gate on entry to the dipping platform to slow access of young people.
184. The report recommends ladders on hard landscape edges that should be easily identifiable and no more than 50 metres apart. It also states the need for easy to identify life rings, each with 25 metres of floating line, which should include 'case of emergency' details including their location and to call 999. The review recommends that all surfaces around the water are to be slip resistant and maintained as such, and railings along the water edge to be inspected and maintained regularly. The report concludes that the Risk Assessment Method Statement for contractors or staff maintaining the area should include water as a specific hazard.

185. The report includes 9 recommendations, summarised above, with a corresponding priority rating. It states that if the recommendations are implemented, the risk of someone drowning or being injured is likely to be at an acceptably low level, in relation to other water sites across the country.
186. In response to the review, an updated Landscape General Arrangement Plan was submitted which shows indicative edge protection between the hard and soft landscape and water edge and the locations for ladder rescue equipment, site safety information signage and life ring safety equipment. The amendments to the Landscape General Arrangement Plan are considered to be acceptable and comply with the recommendations of the Water Safety Review.

Future Dock management

187. In March 2018 Cabinet approved terms for a Master Development Agreement with British Land to facilitate the redevelopment of the Canada Water masterplan site. Under the terms of the agreement the interests of the two parties were consolidated and subsequently the Council granted a 500 year Head Lease to BL which enabled the redevelopment to proceed and the planning applications to be submitted. Under the terms of the agreement approved by Cabinet the Head Lease can be extended to include Canada Water basin subject to the outcome of public consultation and the grant of planning permission. If the RMA for the Dock is approved then the process for extending the Head Lease to include the basin will be completed. The March 2018 Cabinet report noted that the inclusion of the basin in the Head Lease would be on the basis that responsibility for the future repair and maintenance of the Dock structure is to pass to BL CW Holdings Ltd along with the Council's existing water management responsibility. The maintenance responsibility would cover the area within this RMA as well as the rest of the water body.

Landscaping, trees and urban greening

188. Policy P61 of the Southwark Plan 2022 states that development will be permitted if trees are planted as part of landscaping and public realm schemes, commensurate to the scale and type of development, and the character of the neighbourhood. Tree planting should be adaptable to climate change while supporting native species. The selection and position of trees should improve air quality and should have a long life and high biodiversity and amenity value. This is reinforced by policy G7 of the London Plan 2021.
189. Policy P58, Green Infrastructure of the Southwark Plan 2022 states that large-scale major development must provide new publically accessible open space and green links. An integrated green infrastructure network can allow wildlife to move across with continuous habitat and stepping stones. This can include open land and water, tree avenues and planters.
190. Canada Water Dock is a Site of Importance for Nature Conservation (SINC) and supports several species of breeding birds, notably within the reedbeds and wetland fringe forming the vegetated western edge of the Dock and the planted gabions on the northern and southern walls. Broad-leaved woodland is present along the western edge of Canada Water Dock, forming a mosaic of scattered trees and scrubs.

191. Over the last few decades, there has been an accumulation of sediment and a reduced water level resulting in a transition from a wetland habitat to drier land. Floating islands are present along the northern edge of the Dock, but these are in a poor state of repair.
192. The proposed development includes the removal of the existing vegetation and top layer of detritus, re-profiling of soils and the re-planting of new wetland species to create a mosaic of wetland habitats. The trees within the Dock are also proposed to be removed in order to facilitate the recovery of the wetland habitat. Existing trees along with the boundary with the Canada Water Dockside site (the eastern edge) will not be removed as part of this proposal.
193. The aim of the landscaping proposals is to create a mosaic of habitats to add structural diversity to the SINC for wildlife and to provide year-round interest. The mosaic is characterised by three main habitats and planting palettes in three separate zones; reedbeds, wet woodland and wet meadow, and pond. The application was accompanied by detailed landscape design and access statements, tree planting plan, planting plan and landscape general arrangement plan. The landscape strategy proposes:

Western edge

- 194.
- Re-grading the existing topography of the western edge to circa. +3.7m AOD to ensure soil and plants are covered by shallow water
 - The creation of seven wetland islands replanted with wetland native species and with different characteristics supporting a mosaic of habitats
 - Introduction of ponds and channels at varying depths to prevent one particular species colonising and dominating the wetland
 - Raising the water level to a consistent circa. +3.8m AOD and installing a sustainable urban draining system to improve the water quality of the Dock
195. The proposed topography ties into the existing topography and does not affect the areas outside the RMA boundary. Areas adjacent to the existing western Dock edge would be set to a higher level circa. +4.0m AOD to avoid excavation near the bottom of the wall, which could affect stability. Different types of soil erosion control have been proposed to stabilise the topography.

Southern edge

- 196.
- A series of green spaces have been integrated into the design of the southern edge to provide valuable wildlife habitat and a complex palette for pollinators
 - Trees and planting areas introduced on Dock Edge Walk, part of the Green Link, including appropriate native species or species with proven wildlife value
197. The tree planting palette is considered to provide increased species diversity, climate and disease resilience and would include locally native tree species and trees with a proven wildlife value. On the western edge of the Dock, native water tolerant trees would be planted, as wet woodland is a key habitat identified in the SINC citation note. The southern edge would comprise a selection of water tolerant trees with proven wildlife value selected to improve local biodiversity and create seasonal interest year round.
198. The Council's Urban Forester was consulted as part of the application and supports the

proposed layout and soft landscaping design. The planting schedule for both the Dock and stepped terrace is acceptable, together with maintenance details to ensure successful establishment. A sufficient amount of light is available via the open roofed pergola to sustain Dock planting. The scheme is therefore supported in accordance with national and local policies. It should be noted that the implementation and management of the landscaping is subject to control under condition 74 attached to the OPP.

199. The landscaping strategy is supported as it aims to strengthen the wetland habitat and create a blue and green urban environment. The tree planting strategy is considered to be acceptable as it has been augmented by a range of soft planting as well as significant improvements to the Dock wetland planting. Overall, the proposed strategy is considered to improve biodiversity and introduce climate change mitigation benefits.



201. **Image:** Proposed landscape layout to show green areas of habitat creation as well as the bridge and hard and soft landscaped southern edge

Heritage considerations

202. Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires local planning authorities to consider the impacts of a development on a listed building or its setting and to pay special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest that it possesses.

203. Paragraph 203 deals with non-designated heritage assets and explains that the effect of development on such assets should be taking into account, and a balanced judgment should be formed having regard to the scale of any harm or loss and the significance of the asset.
204. Policy HC1, Heritage conservation and growth, of the London Plan 2021 states that development plans and strategies should demonstrate a clear understanding of the historic environment and the heritage values of sites or areas and their relationship with their surroundings. Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets' significance and appreciation within their surroundings.
205. Policy P20, Conservation of the historic environment and natural heritage, of the Southwark Plan 2022 emphasises the importance of heritage considerations and states that historic assets of local importance help define historic character, provide a sense of place and enrich the townscape. Policy 3.15 of the Saved Southwark Plan also advises on conservation of the historic environment.
206. The site is not located within a Conservation Area nor within the curtilage of a Listed Building, however the Dock itself is of significant historic value to the local area and includes the Deal Porters statue within its water body and information plaque on the Dock railings. The Deal Porters statue depicts the porters who handled the wood imported at Surrey Docks and is shown in the image below.



Image: photograph of the existing statue to be retained

207. The Dock Demolition Management Plan details how the statue will be protected during the Dock clearance works and retained in its existing location. As outlined in the landscaping section of this report, islands are proposed to be formed on the western edge of the Dock, one of which will be created around the Deal Porters statue. It is considered that the landscaping and the introduction of the boardwalk passing by the statue will elevate the artwork as a heritage feature within the Dock and contribute to its amenity value.
208. Despite not containing any designated heritage assets, it is considered that the proposed development to Canada Water Dock sensitively references the area's local history and demonstrates an understanding of character in the proposed designs.

Archaeology

209. Policy P23 Archaeology of the Southwark Plan 2022 states that development must conserve the archaeological resources commensurate to its significance and preserve remains of local importance in situ unless the public benefits of the development outweigh the loss of archaeological remains. Saved Policy 3.19 also advises that new development should make provision for the protection of archaeological resources.
210. The Planning Committee Report for 18/AP/1604 states that different parts of the Canada Water Site have been categorised into archaeological survival potential. Canada Water Dock is in the 'no survival' category. Conditions have been placed on 18/AP/1604 to secure varying levels of archaeological investigation based upon the survival potential for different parts of the site.
211. The Council's Archaeologist was consulted on the application and stated that conditions placed upon the OPP are sufficient to manage the archaeological interests of this site.

Impact of proposed development on amenity of adjoining occupiers and surrounding area

212. At present, the Dock is bound by Surrey Quays Shopping Centre to the south, Deal Porters Way to the west and Canada Water Library, Station and Deal Porter Square to the north. The Decathlon store and Dock X occupy the site to the east of the Dock (there is an application currently being considered for redevelopment of this site for commercial purposes).
213. In the Canada Water Masterplan, the Dock is proposed to be bound by Plot A to the west and Zone D to the south. The layout of Plot A has been agreed under 18/AP/1604 and comprises retail, workspace, residential units and a leisure centre (in Plot A2). Plot D is proposed to comprise commercial and/or residential units, however the building form and mass has not been agreed.
214. The proposals for Canada Water Dock are a central component of the masterplan and have been assessed with due regard to the proposed future development of the wider site.
215. The importance of protecting neighbouring amenity is outlined in policy 56, Protection

of amenity, in the Southwark Plan 2022, which states that “Development should not be permitted when it causes an unacceptable loss of amenity to present or future occupiers or users”. This is reinforced by Saved Policy 3.2 of the Southwark Plan 2007. Policy 18 of the Southwark Plan 2022, Efficient use of land, elaborates on protection of amenity and states that “Development will be permitted that does not unreasonably compromise development potential or legitimate activities on neighbouring sites”. The adopted 2015 Technical Update to the Residential Design Standards SPD 2011 expands on the relevant policy and sets out guidance for protecting amenity in relation to outlook and privacy, daylight, sunlight and overshadowing.

216. It is considered that the proposed enhancement of the wetland habitats on the western edge of the Dock would improve the amenity of adjoining occupiers and the surrounding area by improving outlook and creating opportunities to experience nature. Furthermore the new boardwalk would provide an additional pedestrian route for existing and future residents to gain access from this part of the site to Canada Water station which would be a positive benefit.

Outlook and privacy

217. Given the location of this area of public realm in relation to the surrounding buildings the use of the space would not give rise to any adverse overlooking or loss of privacy for future residents.
218. The pergola has been designed as a single storey structure that will not result in any negative outlook or privacy impacts.

Daylight/sunlight

219. The proposed landscape improvements would not result in any negative daylight/sunlight impacts for future residents. The impact on ecology in terms of daylight/sunlight has been discussed in the ecology section of this report above.
220. Furthermore, given the size and location of the pergola it would have no impact on residential amenity by way of overshadowing or loss of light.

Noise and vibration

221. London Plan Policy D14 and Southwark Plan 2022 Policy P66 require developments to manage the impacts of noise. As an important area of public realm within this location, it is inevitable that there would be noise arising from the successful use of the space and facilities to be provided. The southern edge of the Dock has been designed to incorporate a range of different uses typical of a town centre square or plaza. There will be activity within this area during the day as well as in the evening. Furthermore, the boardwalk would be open continuously throughout the day and night. However, it is anticipated that the activity and noise that would ensue would be typical of a town centre location.
222. Given the relationship to future proposed buildings and the distances that would be retained it is not considered that use of this space would give rise to a level of noise or disturbance that would be unreasonable or problematic to future residential occupiers.

223. The dipping pond and pergola will be used by the public including groups of children during daylight hours which is unlikely to give rise to any significant noise or disturbance.
224. All areas of public realm within the Masterplan site will be managed by a private company on behalf of British Land. Such management arrangements would ensure that any issues of antisocial behaviour or excessive noise and disturbance would be dealt with expediently.

Transport and highways

225. In accordance with Chapter 9 of the NPPF, proposals must maximise opportunities for sustainable transport modes and make a significant contribution to improving accessible movement and permeability as a key priority to place making. Policy P51 of the Southwark Plan 2022 states that development must enhance the borough's walking networks by providing footways, routes and public realm that enable access through development sites and adjoining areas. P51 also states that routes and access must be safe and designed to be inclusive and meet the needs of all pedestrians. Street furniture must be located to allow the movement of pushchairs, wheelchairs and mobility scooters. Finally, the policy states that development must support new green links across the borough.
226. Policy P53 states that development must provide cycle parking that is secure, weatherproof, conveniently located, well lit and accessible, this is supported by Policy T5 of the London Plan 2021.

Site layout

227. Dock Edge Walk, which runs alongside Masterplan Zone D, is proposed to be part of the Green Link, a strategic connection between Southwark Park and Russia Dock Woodland. Dock Edge Walk would be a shared space where pedestrians and cyclists are prioritised. It would be 8.7 metres to 10 metres wide between the southern Dock edge and Zone D, forming the primary east-west connection through the masterplan site and would allow movement between Deal Porter's Way, the Dock, Surrey Quays Road and the Printworks building. Vehicular access is minimised to emergency access and for maintenance purposes only. The section below demonstrates the space available for the movement of pedestrians and cyclists. The final alignment of the buildings within Zone D, which will need to be approved via a separate Reserved Matters Application, is likely to offer additional space for movement or seating to augment the green link route.

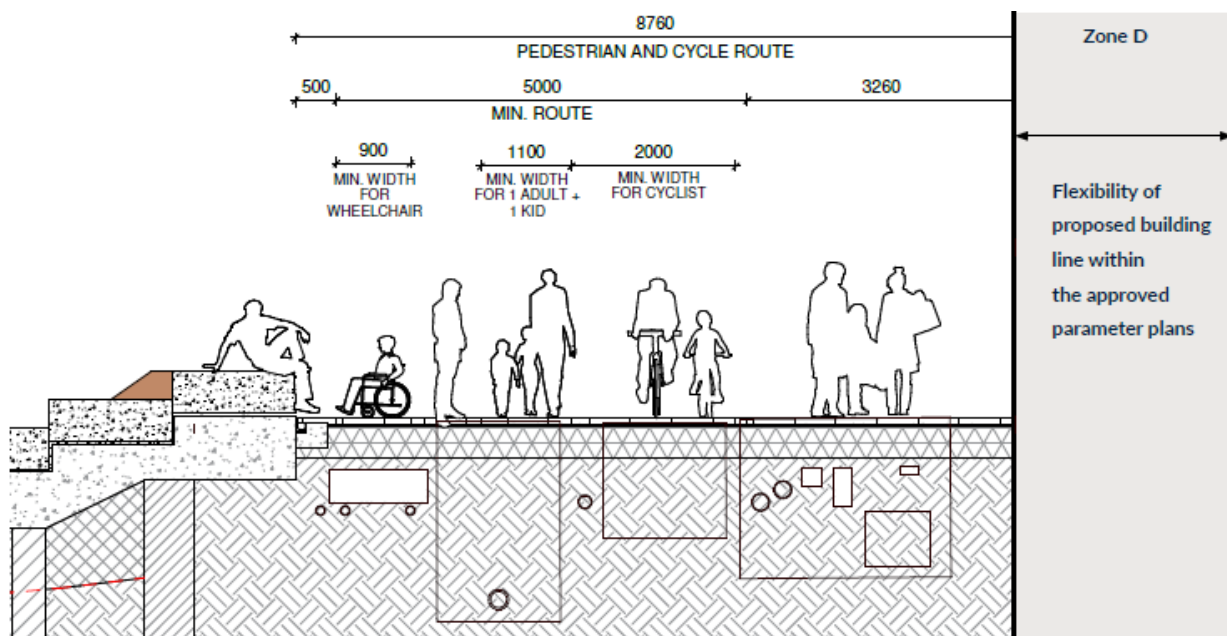


Image: section to show cycle route

228. The proposed boardwalk aligns with the existing Library underground entrance and exit, and the southern landing of the boardwalk would encourage movement east to the Printworks and to Zone D. A secondary boardwalk links to the western edge of the Dock, improving access towards Lower Road.
229. As set out above, the main boardwalk has a 4 metre width and provides benches at regular intervals. The width, which is slightly wider than originally envisaged in the OPP, improves the accessible space for wheelchair users and pushchairs alongside the bench provision.
230. The level of the main boardwalk would vary along its length, gently rising and falling by 0.5 metres. The secondary boardwalk, with 2.8 metre width, is proposed to slope down from the western Dock edge to join the main boardwalk. The slope is approximately 1:75. The Design and Access Statement states that accessibility groups have been consulted on the undulations and no concerns were raised. The boardwalk would have appropriate slip resistance.
231. The proposed layout of the site is acceptable from a transport policy perspective. The proposal would provide a good environment for pedestrians and the limited vehicle users that would enter the site (for emergency access and maintenance purposes only).
232. Transport for London was consulted on the application and stated that the location and nature of the proposal is unlikely to result in adverse impacts on TfL assets and services and the proposed boardwalk provides more direct pedestrian connectivity between Canada Water station and the area to the south of the Dock.

Refuse storage arrangements

233. Litter bins will be located within the public realm and are shown on the submitted plans. Further details will be submitted as part of the landscape conditions attached to the OPP.

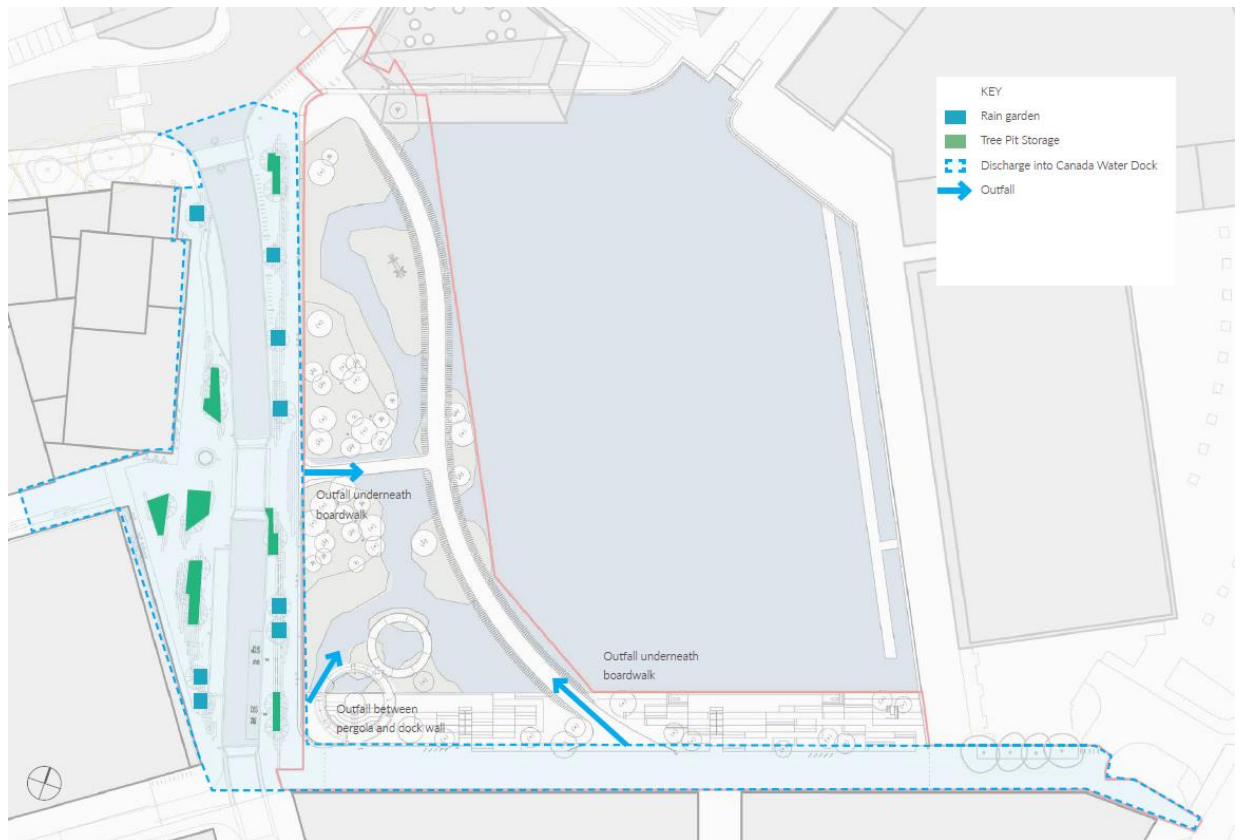
Cycle parking and cycling facilities

234. This development will provide 15 cycle stands along the southern edge of the Dock to accommodate 30 bikes, this is considered to be an acceptable provision. The proposed cycle parking is intended to both serve the Dock and to act as short-stay cycle parking for Zone D. Condition 85 attached to planning permission 18/AP/1604, requires implementation and maintenance of the cycle parking facilities.
235. The purpose of the boardwalk is to allow movement across the Dock and also an opportunity to interact with the water. As such, it is intended that the boardwalk offer an opportunity for meandering and it is therefore appropriate to restrict access for cyclists and e-scooters. This is proposed to be managed through signage at each boardwalk entrance and the site management team. It is agreed that this approach is preferable to physical deterrents, which would negatively impact access for other groups.
236. Overall, the cycle parking and cycling facilities proposed are considered to be acceptable.

Water Resources, Flood Risk and SUDs

237. Policy SI 12 of the London Plan 2021 states that development proposals should ensure that flood risk is minimised and mitigated and natural flood management methods should be employed in development proposals due to their multiple benefits including flood storage and creating recreational areas and habitat. Policy SI 13, Sustainable drainage reinforces this and states that development proposals should ensure that surface water run-off is managed as close to its source as possible. Drainage should be designed and implemented in ways that promote multiple benefits including increased water use efficiency, improved water quality and enhanced biodiversity, urban greening, amenity and recreation.
238. Policy P68, Reducing flood risk, of the Southwark Plan 2022 states that development must not increase flood risk on or off site and champions the use of water sensitive urban design and Sustainable Urban Drainage Systems (SUDs). The rate of surface run-off (and so the related flood risk) can be significantly reduced through the careful design of developments and the inclusion of Sustainable Urban Drainage Systems (SUDs). This policy and the use of SUDs is also reflected in current Southwark policies.
239. The applicant undertook survey work in 2017 which demonstrated that the water quality of Canada Water Dock is generally good, however the sediment appears contaminated with the presence of several List I and List II compounds. The proposed new wetland habitat creation would involve raising water levels in the Dock from +3.3m to +3.8m and installing a sustainable urban drainage system, collecting water from surrounding areas. It is considered that by raising water levels, the water flow through Albion Channel and Surrey Water would be improved and if water level reaches +4m AOD, water would be discharged into Albion Channel, thereby enhancing the health of the wider ecosystem. The introduction of the channels and pond into the Dock would improve water circulation of the basin.
240. A SUDs Strategy was submitted as part of the Design and Access Statement which details measures and level of treatment required to ensure the quality of water discharged is acceptable. Approximately 4.0 Ha of additional catchment is to be

discharged to Canada Dock, delivered in a phased approach over the lifetime of the development. The image below demonstrates the proposed measures to deliver sustainable drainage.



241. Thames Water confirmed that they have no objection to the proposal subject to the drainage and piling conditions already attached to the OPP. The Council's Flood Risk Management and Drainage Team have no comments on the application.
242. The Environment Agency have no objection to the application for the approval of Reserved Matters, subject to the inclusion of conditions 12, 13, 14, 15, 17 and 44 attached to the Outline Permission 18/AP/1604. The Environment Agency refer the applicant to relevant good practice guidance for the decommissioning of redundant boreholes and wells and consider the development to be low-risk in regards to flood risk.

Light pollution

243. Policy P16, Designing out crime in the Southwark Plan 2022 states that development must be designed with effective street lighting that illuminates the public realm, enabling natural surveillance and avoiding the creation of dark, shadowed areas. Policy D8 of the London Plan 2021 states that lighting should be carefully considered and well designed in order to minimise intrusive lighting infrastructure and reduce light pollution. Lighting of the public realm needs careful consideration to address safety and security issues, and make night-time activity areas and access routes welcoming and safe, while also minimising light pollution.
244. Policy G6, Biodiversity and access to nature of the London Plan 2021 states that

development proposals that are near SINC's should consider the potential impact of indirect effects to the site, such as noise, shading or lighting.

245. The designs for the lighting proposals have been prepared by Spears Major, with contributions from London Wildlife Trust, as artificial lighting can cause significant adverse effects to wildlife and the boardwalk is in the flight path for bats. The lighting strategy for the proposal consists of two different elements, the public realm at the southern dock edge and the boardwalk. The design of the lighting proposals have been considered taking into account ecology, character, inclusive design, security, safety, legibility, well-being, energy and scale.
246. The majority of the lighting proposed would aim downwards to minimise light pollution to surrounding occupiers and would be a warmer tone to help minimise negative impacts on ecology. The lighting on the boardwalk would be concealed and integrated within the benches and balustrade design and would illuminate the timber fins. At entry points to the boardwalk, the level of lighting would be higher to provide a greater sense of security. The illumination on the southern edge of the Dock would be provided by column mounted luminaires and lighting on a lower scale around the seating to illuminate the Dock edge and steps/ramp access.
247. The design and location of the lighting proposals is considered to be acceptable as it takes into account safety and security measures, including marking steps, ramps and the water at the Dock edge. In addition, the proposals detail the lighting control system, which would minimise energy consumption and limit the negative impact on ecology and wildlife, as the proposed system would follow bats hibernation cycle.
248. The Council's Environmental Protection Team was consulted on the application and confirmed that they have no objection subject to compliance with conditions and obligations secured as part of the OPP.

Sustainability

249. The presumption in favour of sustainable development championed by the NPPF is reinforced by policy P69 Sustainability standards in the Southwark Plan 2022. This policy requires high environmental standards to reduce the extent of man-made climate change. Chapter 9 of the London Plan 2021, Sustainable Infrastructure, identifies the reduction of carbon emissions as a top priority, also stated by policy P14 of the Southwark Plan 2022, which cites that sustainable design must reduce energy consumption, and carbon dioxide emissions. Saved Policy 3.4 and Core Strategy Policy 13 sets out Southwark's current adopted approach to ensuring that new developments tackle climate change.
250. The aims of the proposed development at Canada Water Dock, to enhance ecology, promote biodiversity and create a pedestrian centred public realm, have been underpinned by sustainable design principles. The materiality of the boardwalk has been designed to ensure its durability and lifespan. The timber proposed would be certified under the FSC system and finishes would be low in volatile organic compounds. Processes would be implemented to minimise the use of new steel and the repetition of elements in the boardwalk would ensure the efficiency of materials. Where possible, the Design and Access Statement states that fabrication would be locally sourced to minimise transportation runs.

251. Further details on material specification for the public realm at Canada Water Dock have been provided, including the use of recycled and locally sourced materials and the installation of energy efficient components, including lighting. Other sustainable principles proposed include water conservation measures, the use of Sustainable Urban Drainage Systems and ecology and biodiversity enhancements.
252. The proposal is considered to respond positively to sustainability standards and complies with policy P44, Healthy developments, of the Southwark Plan 2022 as accessible pedestrian infrastructure is introduced, thereby promoting opportunities for walking and leisure.

Planning obligations (S.106 agreement)

253. This application is bound by the s106 obligations secured as part of the OPP and the proposal would not require an additional s106.

Mayoral and borough community infrastructure levy (CIL)

254. This application is not subject to CIL as it does not create additional floor area or new dwellings.

Other matters

255. None.

Community involvement and engagement

Pre-application engagement

256. This application was accompanied by a Statement of Community Involvement and a Summary Template for the Development Consultation Charter, which sets out the pre-application meetings held to date. Schedule 3 of the s106 for the Canada Water Masterplan required a detailed consultation process to be undertaken with the Council's Ecologist, the Environment Agency, the local community and other relevant stakeholders. A two-stage approach to consultation was adopted. The first stage involved pre-consultation engagement with key stakeholder groups to provide in-depth, qualitative feedback on specialist elements of the proposals. The second stage involved further engagement and public consultation on detailed designs for Canada Dock.
257. The documents confirm that the following engagement was undertaken by the applicant prior to submission of the application:
- Meeting, briefing and tour of the site with key stakeholders (including Leader of the Council and Cabinet Members)
 - Early pre-application consultation with representatives of local schools
 - Early pre-application consultations with representatives of community groups and associations
 - Local residents meeting
 - Engagement with The Conservation Volunteers (TCV), responsible for the management of Stave Hill Ecological Park

- Canada Dock Walkaround and topic sessions with local people (3 sessions)
 - Draft and developed Masterplan exhibition (471 invitations posted and emails to share details)
 - Culture and Heritage topic discussion
 - Dedicated RMA webinar to explain the RMA process
 - Hard copy newsletter sent to 14,350 local people and distributed in key locations
 - 9 social media posts across platforms to over 4,500 followers
 - Virtual exhibition website (607 unique users visited the site and 6099 views between 31 August and 14 September)
 - 8 posters placed in key locations
 - Invitations issued to 26 local stakeholders to meet
 - Early pre-application consultation with Diane Gorvin and Philip Bews, artists of the Deal Porters Statue
 - Email correspondence with local ward members and other relevant stakeholders
258. 23 feedback forms were submitted via the virtual consultation website, or in writing, in addition to feedback during meetings with local stakeholders.
259. The level of pre application consultation undertaken by the applicant is considered to be an acceptable effort to engage with those affected by the proposals. Due to the Covid-19 Pandemic, there was an emphasis on digital engagement with the majority of meetings being online.
260. As part of its statutory requirements, the Council sent letters to all residents within 100 metre radius of the site, issued a press notice publicising the planning application, posted four site notices within the vicinity of the site and advertised the application on the website. Adequate efforts have therefore been made to ensure the community has been given the opportunity to participate in the planning process.
261. Full details of consultation undertaken by the Local Planning Authority in respect of this application are set out in Appendix 4. The responses received are summarised at the start of this report.

Consultation responses from external and statutory consultees

262. **Thames Water:** No comments to make in regards to application.
263. **Surrey Docks Angling Club:** Response awaited.
264. **DHCLG:** Response awaited.
265. **Environment Agency:** No objection to the application, subject to the inclusion of conditions relating to land contamination and included on decision notice 18/AP/1604.
266. **GLA:** Response awaited.
267. **London Borough of Lewisham:** Response awaited.

268. **DLUHC:** Response awaited.
269. **Natural England:** No comments on application.
270. **Friends Of Russia Dock Woodland:** Response awaited.
271. **Transport for London:** The proposal is unlikely to result in adverse impacts on TfL assets and services so have no comment other than the proposed boardwalk provides more direct pedestrian connectivity between Canada Water station and the area to the south of the dock.
272. Any additional responses received after the publication of the main report will be reported to the committee by way of an addendum.

Consultation responses from internal consultees

273. **Archaeology Officer:** No objection. Conditions placed upon the Outline Permission are sufficient to manage the archaeological interests of this site.
274. **Environmental Protection Team:** No comments on reserved matters but would expect compliance with conditions and obligations in the Masterplan consent and S.106 including in relation to contamination assessment and remediation, construction management etc.
275. **Urban Forester:** Happy with proposed layout and soft landscaping design. The planting schedule for both the Dock and stepped terrace are also acceptable, together with maintenance details to ensure successful establishment. A sufficient amount of light is available via the open roofed pergola to sustain Dock planting. Recommend compliance condition wording.
276. **Community Infrastructure Team:** Response awaited.
277. **Ecology (summary):** On the basis of the technical information submitted and the mitigation secured as part of the Outline Permission, including the DEMP and CEMP, satisfied that the proposal is acceptable in terms of impact during construction and would welcome the long-term benefits.
278. **Parks And Cemeteries Team:** Response awaited.
279. **Flood Risk Management & Urban Drainage Team:** Have no comments to make on flood risk/drainage.
280. **Transport Policy Team:** Response awaited.
281. **Harbour Master:** Response awaited.
282. Any additional responses received after the publication of the main report will be reported to the committee by way of an addendum.

Community impact and equalities assessment

283. The Council must not act in a way which is incompatible with rights contained within the European Convention of Human Rights
284. The Council has given due regard to the above needs and rights where relevant or engaged throughout the course of determining this application.
285. The Public Sector Equality Duty (PSED) contained in Section 149 (1) of the Equality Act 2010 imposes a duty on public authorities to have, in the exercise of their functions, due regard to three "needs" which are central to the aims of the Act:
1. The need to eliminate discrimination, harassment, victimisation and any other conduct prohibited by the Act
 2. The need to advance equality of opportunity between persons sharing a relevant protected characteristic and persons who do not share it. This involves having due regard to the need to:
 - Remove or minimise disadvantages suffered by persons who share a relevant protected characteristic that are connected to that characteristic
 - Take steps to meet the needs of persons who share a relevant protected characteristic that are different from the needs of persons who do not share it
 - Encourage persons who share a relevant protected characteristic to participate in public life or in any other activity in which participation by such persons is disproportionately low

The need to foster good relations between persons who share a relevant protected characteristic and those who do not share it. This involves having due regard, in particular, to the need to tackle prejudice and promote understanding.

286. The protected characteristics are: race, age, gender reassignment, pregnancy and maternity, disability, sexual orientation, religion or belief, sex, marriage and civil partnership.

Human rights implications

287. This planning application engages certain human rights under the Human Rights Act 2008 (the HRA). The HRA prohibits unlawful interference by public bodies with conventions rights. The term 'engage' simply means that human rights may be affected or relevant.
288. This application has the legitimate aim of enhancing a protected SINC and providing a high quality area of public realm with additional community facilities that will be available for all members of the community to enjoy, and will encourage interaction between groups and individuals with different characteristics. The management plan for the dipping pond and pond and pergola will ensure that all members of the community have equal access to the facilities. Furthermore the boardwalk has been designed to accommodate pedestrians, pushchairs and wheelchairs thus ensuring compliant access can be achieved. The rights potentially engaged by this application, including the right to a fair trial and the right to respect for private and family life are not considered to be unlawfully interfered with by this proposal.

Positive and proactive statement

289. The Council has published its development plan and Core Strategy on its website together with advice about how applications are considered and the information that needs to be submitted to ensure timely consideration of an application. Applicants are advised that planning law requires applications to be determined in accordance with the development plan unless material considerations indicate otherwise.
290. The Council provides a pre-application advice service that is available to all applicants in order to assist applicants in formulating proposals that are in accordance with the development plan and core strategy and submissions that are in accordance with the application requirements.

Positive and proactive engagement: summary table

291.	Was the pre-application service used for this application?	YES
	If the pre-application service was used for this application, was the advice given followed?	YES
	Was the application validated promptly?	YES
	If necessary/appropriate, did the case officer seek amendments to the scheme to improve its prospects of achieving approval?	YES
	To help secure a timely decision, did the case officer submit their recommendation in advance of the agreed Planning Performance Agreement date?	YES

CONCLUSION

292. This proposal is an important component of the wider masterplan for the Canada Water town centre. The proposal development to the Dock would be delivered as part of the early phases of the masterplan, which would make a significant early contribution to the area in terms of enhancing the town centre environment for future residents and the wider community.
293. The proposal accords with the principles established by the Outline Permission and would result in enhanced ecological habitats with significant biodiversity net gain. The boardwalk and southern Dock edge facilities have been designed to deliver a high quality, distinctive area of public realm which would make a very positive contribution to this part of the town centre. Careful consideration has also been given to public safety and inclusive access as well as sustainable materials.
294. The proposal has been scrutinised by the Council's Ecologist and Urban Forester in respect of the detailed planting proposals and proposed ecological features and found to be robust. Furthermore, subject to the detailed control of demolition and construction methodology and impacts required by the management plans secured as part of the Outline Permission, it is considered that the short-term harm to ecology would be

significantly outweighed by the long-term benefits.

295. In design terms, the proposal is regarded to be a bespoke, thoughtful and high-quality response to the history and character of Canada Water. The facilities will bring benefits to children and schools and make a valuable contribution to the community by introducing a focal point for social interaction.
296. The proposal would comply with the principles of sustainable development, and improve opportunities for pedestrian movement, creating an attractive, safe and fully accessible route across the water and a range of high quality inclusive and accessible public facilities to promote interaction with wildlife. Furthermore, the proposal would not harm residential amenity.
297. It is therefore recommended that Reserved matters approval be granted, subject to the recommended conditions.

BACKGROUND INFORMATION

BACKGROUND DOCUMENTS

Background Papers	Held At	Contact
Site history file: 468-G Application file: 21/AP/3794 Southwark Local Development Framework and Development Plan Documents	Chief Executive's Department 160 Tooley Street London SE1 2QH	Planning enquiries telephone: 020 7525 5403 Planning enquiries email: planning.enquiries@southwark.gov.uk Case officer telephone: 0207 525 0254 Council website: www.southwark.gov.uk

APPENDICES

No.	Title
Appendix 1	Recommendation (draft decision notice)
Appendix 2	Relevant planning policy
Appendix 3	Planning history of the site and nearby sites
Appendix 4	Consultation undertaken
Appendix 5	Consultation responses received.

AUDIT TRAIL

Lead Officer	Stephen Platts, Director of Planning and Growth
Report Author	Rose Sharkey, Graduate Planner
Version	Final
Dated	5 January 2022
Key Decision	No

CONSULTATION WITH OTHER OFFICERS / DIRECTORATES / CABINET MEMBER		
Officer Title	Comments Sought	Comments included
Strategic Director of Finance and Governance	No	No
Strategic Director of Environment and Leisure	No	No
Strategic Director of Housing and Modernisation	No	No
Director of Regeneration	No	No
Date final report sent to Constitutional Team		6 January 2022

Appendix 1: Recommendation

This document shows the case officer's recommended decision for the application referred to below.

This document is not a decision notice for this application.

Applicant	c/o Agent CW BL Holdings Ltd.	Reg. Number	21/AP/3794
Application Type	Approval of Reserved Matters		
Recommendation	APPROVE reserved matters	Case Number	468-G

Draft of Decision Notice

Reserved matters is APPROVED for the following development:

Application for the approval of reserved matters (Access, Appearance, Landscaping, Layout and Scale) in relation to Canada Dock and land adjacent to zone D pursuant to hybrid planning permission ref. 18/AP/1604 dated 29th May 2020, relating to the re-development of Canada Dock, including the re-grading and re-planting of the SINC, construction of a new boardwalk, construction of steps and accessible slopes along the southern edge and associated public realm, informal play space and landscape improvements.

This is an application for subsequent consent accompanied by an Environmental Statement. Consequently the application is accompanied by a Statement of Conformity submitted pursuant to the Town and Country Planning (Environmental Impact Assessment) regulations 2017. This ES Statement of Conformity should be read in conjunction with the Canada Water Masterplan ES which can be viewed in full on the Councils website (18/AP/1604).

The Dock And Land Adj To Zone D Canada Water Masterplan Site London SE16 7LL

Permission is subject to the following Approved Plans Condition:

1. The development shall be carried out in accordance with the following approved plans:

Reference no./Plan or document name/Rev.

Received on:

Technical Note Biodiversity Net Gain Assessment Document (Rev: WIE14940-145-TN2-1-5-BNG)	15/12/2021
Pergola - Layout Plans - Proposed (Rev: DR-AR-040002_P1)	02/11/2021
Boardwalk - East and West Elevations Plans - Proposed (Rev: DR-AR-050001_P1)	02/11/2021
Boardwalk - North and South Elevations Plans - Proposed (Rev: DR-AR-050002_P1)	02/11/2021
Pergola - Sections Plans - Proposed (Rev: DR-AR-050003_P1)	02/11/2021
Section AA' and BB' Plans - Proposed (Rev: DR-LS-308001_P1)	02/11/2021
Section CC' and DD' Plans - Proposed (Rev: DR-LS-308002_P1)	02/11/2021
Section HH' and II' Plans - Proposed (Rev: DR-LS-308004_P1)	02/11/2021
Pergola - Roof Plan Plans - Proposed (Rev: DR-AR-040003_P1)	02/11/2021
North Landing Meeting Bench Workbook Document	10/12/2021
Boardwalk - Layout Plans - Proposed (Rev: DR-AR-040001_P2)	10/12/2021
Boardwalk - North Landing Plans - Proposed (Rev: DR-AR-070001_P2)	10/12/2021
Boardwalk - South Landing Plans - Proposed (Rev: DR-AR-070002_P2)	10/12/2021
Boardwalk - West Landing Plans - Proposed (Rev: DR-AR-070003_P2)	10/12/2021
Boardwalk - Detail Sections 01 Plans - Proposed (Rev: DR-AR-070004_P2)	10/12/2021
Boardwalk - Detail Sections 02 Plans - Proposed (Rev: DR-AR-070005_P2)	10/12/2021
Boardwalk - Typical Detail Plans Plans - Proposed (Rev: DR-AR-070006_P2)	10/12/2021
Landscape Context Plan Plans - Proposed (Rev: DR-LS-301002_P2)	10/12/2021
Landscape General Arrangement Plans - Proposed (Rev: DR-LS-301003_P3)	10/12/2021
Levels Plan Plans - Proposed (Rev: DR-LS-302001_P2)	10/12/2021
Planting Plan Plans - Proposed (Rev: DR-LS-305001_P2)	10/12/2021
Tree Planting Plan Plans - Proposed (Rev: DR-LS-305002_P2)	10/12/2021
Section EE' to GG' Plans - Proposed (Rev: DR-LS-308003_P2)	10/12/2021
Landscape Design and Access Statement Design and access statement (Rev: RP-LS-300001 P6)	02/11/2021

Reason:

For the avoidance of doubt and in the interests of proper planning.

Permission is subject to the following Compliance Condition(s)

2. (i) The Pergola and Dipping Pond hereby approved shall be open for use by the general public, without charge, every day throughout the calendar year except Christmas Day.

(ii) For safety and security purposes, the Dipping Pond will be access controlled and restricted from dusk to dawn.

(iii) Access for private visits such as school trips/local community groups shall be managed by the Developer and availability of access will be advertised at the time.

(iv) The Developer may from time to time temporarily restrict access for repair or maintenance, if in the reasonable opinion of the Developer there shall be some danger to the public, at the request of the emergency services or any statutory authority or for any other reasonable or sufficient cause and for such reasonable period as may be agreed by the Council.

Reason:

To ensure that the public realm remains genuinely accessible to all users and potential risks associated with the use of the pergola and dipping pond are minimised in accordance with Policy P13 - Design of Places of the Southwark Plan 2022

3. Prior to the commencement of development a plan for the protection and/or mitigation of damage to Reedbed, both during construction works and once the development is complete and including management responsibilities, shall be submitted to and approved in writing by the local planning authority. The reedbed protection plan shall be carried out in accordance with a timetable for implementation as approved.

The scheme shall include the following elements: Retention of reedbeds

To retain a proportion of the existing reedbed and replace as part of the habitat restoration.

Reason: To protect the (BAP species / BAP habitat) within and adjacent to the development site. Without it, avoidable damage could be caused to the nature conservation value of the site contrary to national planning policy as set out in the national Planning policy Framework.

The <species / habitat> is identified under The UK/London/Southwark Nature Action Plan.

Informatives

- 2 The applicant is advised that the 'playable space' on the southern dock edge and the dipping pond hereby approved do not count towards the minimum formal playspace requirements for 5-11 and 12+ year olds as required by Schedule 18 of the s106. The playable space is welcome as a way of encouraging all age groups to interact with the dock but it is not a substitute for formal play facilities which must be provided elsewhere in the masterplan site.

- 3 The applicant is advised that it is illegal to disturb nesting birds. Even with the provision of supervision, there will be a residual risk of killing and injuring breeding birds.

The applicant must therefore avoid clearance works during the bird nesting season. If clearance works are carried out between the months of September to February there will be no impact to breeding birds in relation to death and/or injury. The Ecological Clerk of Works (ECoW) should be secured as part of the detailed Demolition and Construction Environmental Management Plans.

- 4 The ES Statement of Conformity states that a Construction Environmental Management Plan will be created and will detail any measures/mitigation required to minimise the impact of lighting on wildlife. It is recommended that an ecological specialist is consulted during the creation of this CEMP. The CEMP is controlled in Schedule 23 of the legal agreement. The Ecological Clerk of Works is required to include this detail.

Appendix 2: Relevant planning policy

The site is subject to the following planning designations:

- Canada Water Major Town Centre
- Canada Water Strategic Heating Area
- Site of Importance of Nature Conservation
- Borough Open Land
- Canada Water Open Water Space
- Urban Density Zone
- Air Quality Management Area
- Canada Water Action Area Core
- Flood Zone 2
- Flood Zone 3
- Site Allocation NSP81
- Canada Water Opportunity Area

National Planning Policy Framework

The revised National Planning Policy Framework ('NPPF') was published in July 2021 which sets out the national planning policy and how this needs to be applied. The NPPF focuses on sustainable development with three key objectives: economic, social and environmental.

Paragraph 218 states that the policies in the Framework are material considerations which should be taken into account in dealing with applications.

Section 2 – Achieving sustainable development

Section 8 – Promoting healthy and safe communities

Section 9 – Promoting sustainable transport

Section 11 – Making effective use of land

Section 12 – Achieving well designed places

Section 14 – Meeting the challenge of climate change, flooding and coastal change

Section 15 – Conserving and enhancing the natural environment

Section 16 – Conserving and enhancing the historic environment

National Planning Practice Guidance

The London Plan 2021

On 2 March 2021, the Mayor of London published the London Plan 2021. The spatial development strategy sets a strategic framework for planning in Greater London and forms part of the statutory Development Plan for Greater London. The relevant policies are:

GG2 Making the best use of land

GG3 Creating a healthy city

Policy SD10 Strategy and local regeneration

Policy D3 Optimising site capacity through the design-led approach

<p>Policy D4 Delivering good design</p> <p>Policy D5 Inclusive design</p> <p>Policy D8 Public realm</p> <p>Policy D11 Safety, security and resilience to emergency</p> <p>Policy D14 Noise</p> <p>Policy SD4 Play and informal recreation</p> <p>Policy HC1 Heritage conservation and growth</p> <p>Policy G1 Green infrastructure</p> <p>Policy G4 Open space</p> <p>Policy G5 Urban greening</p> <p>Policy G6 Biodiversity and access to nature</p> <p>Policy G7 Trees and woodlands</p> <p>Policy SI 5 Water infrastructure</p> <p>Policy SI 12 Flood risk management</p> <p>Policy SI 13 Sustainable drainage</p> <p>Policy SI 16 Waterways – use and enjoyment</p> <p>Policy SI 17 Protecting and enhancing London’s waterways</p> <p>Policy T5 Cycling</p>
<p><u>Core Strategy 2011</u></p> <p>The Core Strategy was adopted in 2011 providing the spatial planning strategy for the borough. The strategic policies in the Core Strategy are relevant alongside the saved Southwark Plan (2007) policies. The relevant policies of the Core Strategy 2011 are:</p> <p>Strategic Policy 1 – Sustainable development</p> <p>Strategic Policy 2 – Sustainable transport</p> <p>Strategic Policy 4 – Places for learning, enjoyment and healthy lifestyles</p> <p>Strategic Policy 11 – Open spaces and wildlife</p> <p>Strategic Policy 12 – Design and conservation</p> <p>Strategic Policy 13 – High environmental standards</p> <p>Strategic Policy 14 – Implementation and delivery</p>
<p><u>Southwark Plan 2007 (July) - saved policies</u></p> <p>The Council's cabinet on 19 March 2013, as required by para 215 of the NPPF, considered the issue of compliance of Southwark Planning Policy with the National Planning Policy Framework. All policies and proposals were reviewed and the Council satisfied itself that the policies and proposals in use were in conformity with the NPPF. The resolution was that with the exception of Policy 1.8 (location of retail outside town centres) in the Southwark Plan all Southwark Plan policies are saved. Therefore due weight should be given to relevant policies in existing plans in accordance to their degree of consistency with the NPPF.</p> <p>Policy 1.7 – Development within Town and Local Centres</p> <p>Policy 2.2 - Provision of new community facilities</p> <p>Policy 2.5 - Planning obligations</p> <p>Policy 3.2 - Protection of amenity</p> <p>Policy 3.3 - Sustainability assessment</p> <p>Policy 3.4 – Energy efficiency</p>

<p>Policy 3.9 - Water</p> <p>Policy 3.11 - Efficient use of land</p> <p>Policy 3.12 - Quality in design</p> <p>Policy 3.13 - Urban design</p> <p>Policy 3.14 - Designing out crime</p> <p>Policy 3.15 - Conservation of the historic environment</p> <p>Policy 3.19 – Archaeology</p> <p>Policy 3.26 – Borough Open Land (BOL)</p> <p>Policy 3.28 - Biodiversity</p> <p>Policy 5.3 - Walking and cycling</p>
<p><u>Supplementary Planning Guidance and Documents GLA SPGs</u></p> <p>Accessible London: Achieving an Inclusive Environment SPG (2014)</p> <p>Play and informal recreation SPG (2012)</p> <p>Character and Context SPG (2014)</p> <p>Sustainable Transport, Walking and Cycling (draft)</p> <p>The Mayor’s Biodiversity Strategy: Connecting with London’s Nature, 2002</p> <p>Sustainable Design and Construction, 2014</p> <p><u>London Borough of Southwark</u></p> <p>Section 106 and CIL SPD (2020)</p> <p>Heritage SPD (2021)</p> <p>Design and Access Statements SPD (2007)</p> <p>Sustainability assessments SPD (2009)</p> <p>Statement of Community Involvement (Draft 2019)</p> <p><u>Canada Water Area Action Plan (2015)</u></p> <p>The Canada Water Area Action Plan (CWAAP) provides a planning framework and planning policies for a new town centre masterplan. The plan also has policies on employment sites, shops, housing, schools and community places and links to the surrounding communities. The AAP was adopted in 2012 and updated in 2015, following the Daily Mail’s decision to vacate their Printworks site in the area. It sets out a vision for how the area will change over the period leading up to 2026.</p>
<p>Emerging Planning Policy</p> <p><u>Southwark Plan 2022</u></p> <p>The Southwark Plan 2022 (formerly the New Southwark Plan) is now at an advanced stage. The New Southwark Plan (NSP) was submitted to the Secretary of State in January 2020. The Examination in Public (EiP) for the NSP took place between February and April 2021. The Inspectors Report concluded that the plan is sound and can be adopted with recommended modifications.</p>

It is anticipated that the plan will be adopted at Council Assembly in February 2022 and will replace the saved policies of the 2007 Southwark Plan, the 2011 Core Strategy, the Aylesbury Area Action Plan 2010, the Peckham and Nunhead Area Action Plan 2014 and the Canada Water Area Action Plan 2015.

Paragraph 48 of the NPPF states that decision makers may give weight to relevant policies in emerging plans according to the stage of preparation of the emerging plan, the extent to which there are unresolved objections to the policy and the degree of consistency with the Framework.

ST2 Southwark's Places

P13 Design of places

P14 Design quality

P16 Designing out crime

P18 Efficient use of land

P21 Conservation of the historic environment and natural heritage

P23 Archaeology

P35 Town and local centres

P47 Community uses

P50 Highways impacts

P51 Walking

P53 Cycling

P56 Protection of amenity

P57 Open Space

P58 Open water space

P59 Green infrastructure

P60 Biodiversity

P61 Trees

P66 Reducing noise pollution and enhancing soundscapes

P67 Reducing water use

P68 Reducing flood risk

P69 Sustainability standards

IP3 Community infrastructure levy (CIL) and Section 106 planning obligations

IP7 Statement of Community Involvement

Site designation – The Southwark Plan 2022 places the site within site allocation NSP 81 which covers the application 18/AP/1604, the Canada Water Masterplan. It advises that redevelopment of the site must:

- Provide retail uses; and
- Provide a new health centre (E(e)) of approximately 2,000m²; and
- Provide new education places for 14-19 year olds (F.1(a)); and
- Provide new homes (C3); and
- Provide enhanced public realm and civic space - 13,696m²; and
- Provide employment floorspace (E(g), B class); and
- Provide leisure uses.

Development of the site may:

- Provide student accommodation (sui generis);

- Provide new visitor accommodation (C1);
- Provide extra care housing (C2);
- Provide leisure, arts, culture or community uses.

The design and accessibility guidance to the site allocation states that the Canada Water AAP vision is to transform Canada Water into a new major town centre destination which combines shopping, civic, education, leisure, business and residential uses. The aspiration is to create high quality streets and spaces that are not dominated by car use or by car parking.

Harmsworth Quays provides an opportunity to expand the town centre eastwards to incorporate uses and activities which will reinforce the town centre, create jobs and boost the local economy. Development on these sites will be expected to maximise the amount of employment space and its contribution to the regeneration of the town centre.

The site should accommodate improved walking routes to Canada Water Station and to public open spaces, with redevelopment enhancing Canada Water Basin for people and wildlife. The scheme should provide links to existing cycle routes and proposed Cycle Super Highway (if the scheme is provided).

Appendix 3: Relevant planning history

Reference and Proposal

18/AP/1604

Hybrid application seeking detailed planning permission for Phase 1 and outline planning permission for future phases, comprising:

Status

GRANTED -
Major
Application
29/05/2020

Outline planning permission (all matters reserved) for demolition of all existing structures and redevelopment to include a number of tall buildings comprising the following mix of uses: retail (Use Classes A1-A5), workspace (B1), hotel (C1), residential (C3), assisted living (C2), student accommodation, leisure (including a cinema)(D2), community facilities (including health and education uses)(D1), public toilets, nightclub, flexible events space, an energy centre, an interim and permanent petrol filling station, a primary electricity substation, a secondary entrance for Surrey Quays Rail Station, a Park Pavilion, landscaping including open spaces and public realm, works to Canada Water Dock, car parking, means of access, associated infrastructure and highways works, demolition or retention with alterations to the Press Hall and/or Spine Building of the Printworks; and

Detailed planning permission for the following Development Plots in Phase 1:
Plot A1 (south of Surrey Quays Road and west of Deal Porters Way) to provide uses comprising retail (A1-A5), workspace (B1) and 186 residential units (C3) in a 6 and 34 storey building, plus basement;

Plot A2 (east of Lower Road and west of Canada Water Dock) to provide a leisure centre (D2), retail (A1-A5), and workspace (B1) in a 4, 5 and 6 storey building, plus basement;

Plot K1 (east of Roberts Close) to provide 79 residential units (C3) in a 5 and 6 storey building;

Interim Petrol Filling Station (north of Redriff Road and east of Lower Road) to provide a petrol filling station with kiosk, canopy and forecourt area.

Each Development Plot with associated car parking, cycle parking, landscaping, public realm, plant and other relevant works.

The application is accompanied by an Environmental Statement pursuant to the Town and Country Planning (EIA) Regulations 2011 (amended)

Appendix 4: Consultation undertaken

Site notice date: 17/11/2021

Press notice date: 18/11/2021

Case officer site visit date: n/a

Neighbour consultation letters sent: 07/12/2021

Internal services consulted

Archaeology

Community Infrastructure Levy Team

Design and Conservation Team [Formal]

Ecology

Environmental Protection

Flood Risk Management & Urban Drainage

Transport Policy

Urban Forester

Archaeology

Community Infrastructure Levy Team

Design and Conservation Team [Formal]

Ecology

Environmental Protection

Flood Risk Management & Urban Drainage

Transport Policy

Urban Forester

Statutory and non-statutory organisations

Environment Agency

Great London Authority
 Natural England - London & South East Re
 Thames Water
 Transport for London
 Environment Agency
 Great London Authority
 Natural England - London & South East Re
 Transport for London
 Thames Water

Neighbour and local groups consulted:

Flat 34 29 Surrey Quays Road London	Flat 130 Ontario Point 28 Surrey Quays Road
Flat 23 29 Surrey Quays Road London	
Flat 9 29 Surrey Quays Road London	Flat 126 Ontario Point 28 Surrey Quays Road
Flat 68 11 Maritime Street London	
Flat 62 11 Maritime Street London	Flat 115 Ontario Point 28 Surrey Quays Road
Flat 51 11 Maritime Street London	
Flat 44 11 Maritime Street London	Flat 105 Ontario Point 28 Surrey Quays Road
Flat 39 11 Maritime Street London	
Flat 15 11 Maritime Street London	Flat 88 Ontario Point 28 Surrey Quays Road
Flat 47 7 Maritime Street London	
Flat 39 7 Maritime Street London	148 Montreal House Surrey Quays Road London
Flat 33 7 Maritime Street London	
Flat 6 7 Maritime Street London	140 Montreal House Surrey Quays Road London
Flat 18 5 Maritime Street London	
Flat 15 5 Maritime Street London	125 Montreal House Surrey Quays Road London
Flat 14 5 Maritime Street London	
Flat 9 5 Maritime Street London	118 Montreal House Surrey Quays Road London
Flat 2 5 Maritime Street London	
Flat 143 Ontario Point 28 Surrey Quays Road	112 Montreal House Surrey Quays Road London
	69 Montreal House Surrey Quays Road London
	56 Montreal House Surrey Quays Road London

11 Montreal House Surrey Quays Road
London

Flat 67 Ontario Point 28 Surrey Quays
Road

Flat 47 Ontario Point 28 Surrey Quays
Road

Flat 43 Ontario Point 28 Surrey Quays
Road

Flat 40 Ontario Point 28 Surrey Quays
Road

Flat 37 Ontario Point 28 Surrey Quays
Road

Flat 34 Ontario Point 28 Surrey Quays
Road

Flat 19 Ontario Point 28 Surrey Quays
Road

Flat 77 Ontario Point 28 Surrey Quays
Road

163 Montreal House Surrey Quays Road
London

145 Montreal House Surrey Quays Road
London

100 Montreal House Surrey Quays Road
London

95 Montreal House Surrey Quays Road
London

84 Montreal House Surrey Quays Road
London

Flat 97 Ontario Point 28 Surrey Quays
Road

Flat 92 Ontario Point 28 Surrey Quays
Road

Flat 85 Ontario Point 28 Surrey Quays
Road

Flat 66 Ontario Point 28 Surrey Quays
Road

Flat 49 Ontario Point 28 Surrey Quays
Road

Flat 46 Ontario Point 28 Surrey Quays
Road

Flat 41 Ontario Point 28 Surrey Quays
Road

Flat 132 Ontario Point 28 Surrey Quays
Road

47 Surrey Quays Shopping Centre
Redriff Road London

Flat 51 29 Surrey Quays Road London

Flat 15 29 Surrey Quays Road London

Flat 48 11 Maritime Street London

Flat 38 11 Maritime Street London

Flat 20 11 Maritime Street London

Flat 12 11 Maritime Street London

Flat 11 11 Maritime Street London

Flat 6 11 Maritime Street London

Flat 2 11 Maritime Street London

Flat 54 7 Maritime Street London

Flat 38 7 Maritime Street London

Flat 21 7 Maritime Street London

45C Surrey Quays Shopping Centre
Redriff Road London

Flat 17 5 Maritime Street London

Flat 12 5 Maritime Street London

Flat 3 5 Maritime Street London

Flat 141 Ontario Point 28 Surrey Quays
Road

Flat 131 Ontario Point 28 Surrey Quays
Road

Flat 125 Ontario Point 28 Surrey Quays
Road

169 Montreal House Surrey Quays Road
London

130 Montreal House Surrey Quays Road
London

110 Montreal House Surrey Quays Road London	Flat 8 Ontario Point 28 Surrey Quays Road
44 Montreal House Surrey Quays Road London	Flat 61 Ontario Point 28 Surrey Quays Road
34 Montreal House Surrey Quays Road London	Flat 38 Ontario Point 28 Surrey Quays Road
20 Montreal House Surrey Quays Road London	Flat 129 Ontario Point 28 Surrey Quays Road
Flat 72 Ontario Point 28 Surrey Quays Road	Flat 122 Ontario Point 28 Surrey Quays Road
Flat 58 Ontario Point 28 Surrey Quays Road	Flat 107 Ontario Point 28 Surrey Quays Road
Flat 39 Ontario Point 28 Surrey Quays Road	17 Surrey Quays Shopping Centre Redriff Road London
Flat 27 Ontario Point 28 Surrey Quays Road	Flat 54 29 Surrey Quays Road London
54 Montreal House Surrey Quays Road London	Flat 52 29 Surrey Quays Road London
46 Montreal House Surrey Quays Road London	Flat 46 29 Surrey Quays Road London
153 Montreal House Surrey Quays Road London	9 Maritime Street London Southwark
119 Montreal House Surrey Quays Road London	Flat 21 29 Surrey Quays Road London
111 Montreal House Surrey Quays Road London	Flat 13 29 Surrey Quays Road London
10 Montreal House Surrey Quays Road London	Flat 65 11 Maritime Street London
5 Montreal House Surrey Quays Road London	Flat 50 11 Maritime Street London
60 Montreal House Surrey Quays Road London	Flat 33 11 Maritime Street London
Kiosk Canada Water Bus Station Surrey Quays Road	Flat 24 11 Maritime Street London
Flat 84 Ontario Point 28 Surrey Quays Road	Flat 53 7 Maritime Street London
Flat 81 Ontario Point 28 Surrey Quays Road	Flat 30 7 Maritime Street London
	Flat 5 7 Maritime Street London
	Flat 2 7 Maritime Street London
	Flat 26 5 Maritime Street London
	Flat 11 5 Maritime Street London
	Flat 138 Ontario Point 28 Surrey Quays Road
	Flat 123 Ontario Point 28 Surrey Quays Road

Flat 108 Ontario Point 28 Surrey Quays Road	17 Montreal House Surrey Quays Road London
Flat 106 Ontario Point 28 Surrey Quays Road	8 Montreal House Surrey Quays Road London
Flat 103 Ontario Point 28 Surrey Quays Road	4 Montreal House Surrey Quays Road London
Flat 96 Ontario Point 28 Surrey Quays Road	Flat 65 Ontario Point 28 Surrey Quays Road
Unit A Montreal House Surrey Quays Road	Flat 50 Ontario Point 28 Surrey Quays Road
164 Montreal House Surrey Quays Road London	Flat 80 Ontario Point 28 Surrey Quays Road
160 Montreal House Surrey Quays Road London	First Floor 61 Surrey Quays Shopping Centre Redriff Road
159 Montreal House Surrey Quays Road London	Best Fast Food Ltd Surrey Quays Shopping Centre Redriff Road
144 Montreal House Surrey Quays Road London	Unit 13 Dock Offices Surrey Quays Road
136 Montreal House Surrey Quays Road London	3 Surrey Quays Shopping Centre Redriff Road London
132 Montreal House Surrey Quays Road London	Flat 61 29 Surrey Quays Road London
117 Montreal House Surrey Quays Road London	9 Hothfield Place London Southwark
96 Montreal House Surrey Quays Road London	Unit 3 Dock Offices Surrey Quays Road
74 Montreal House Surrey Quays Road London	89 Montreal House Surrey Quays Road London
59 Montreal House Surrey Quays Road London	Management Suite Surrey Quays Shopping Centre Redriff Road
55 Montreal House Surrey Quays Road London	Flat 13 5 Maritime Street London
45 Montreal House Surrey Quays Road London	Flat 19 7 Maritime Street London
36 Montreal House Surrey Quays Road London	20 Surrey Quays Shopping Centre Redriff Road London
26 Montreal House Surrey Quays Road London	Flat 26 Ontario Point 28 Surrey Quays Road
	27 Surrey Quays Shopping Centre Redriff Road London
	Unit 12 Dock Offices Surrey Quays Road
	Unit 6 Dock Offices Surrey Quays Road

Flat 86 Ontario Point 28 Surrey Quays Road

Petrol Filling Station Surrey Quays Shopping Centre Redriff Road

Sushi Momoda Surrey Quays Shopping Centre Redriff Road

Pizza 1889 Outside Surrey Quays Shopping Centre Redriff Road

47 Montreal House Surrey Quays Road London

29 Montreal House Surrey Quays Road London

12 Montreal House Surrey Quays Road London

Flat 29 7 Maritime Street London

Flat 16 7 Maritime Street London

142 Montreal House Surrey Quays Road London

Flat 52 11 Maritime Street London

2-4 Surrey Quays Shopping Centre Redriff Road London

11 Hothfield Place London Southwark

22 Surrey Quays Shopping Centre Redriff Road London

First Floor 63 Surrey Quays Shopping Centre Redriff Road

National Halal Centre Surrey Quays Shopping Centre Redriff Road

31 Surrey Quays Shopping Centre Redriff Road London

Unit 2 Dock Offices Surrey Quays Road

Unit 10 To 11 Dock Offices Surrey Quays Road

Flat 136 Ontario Point 28 Surrey Quays Road

Flat 118 Ontario Point 28 Surrey Quays Road

Flat 74 Ontario Point 28 Surrey Quays Road

33 Montreal House Surrey Quays Road London

Flat 102 Ontario Point 28 Surrey Quays Road

Flat 1 5 Maritime Street London

Flat 144 Ontario Point 28 Surrey Quays Road

Flat 134 Ontario Point 28 Surrey Quays Road

Flat 109 Ontario Point 28 Surrey Quays Road

Former Dock Managers Office Lower Road London

10 Hothfield Place London Southwark

7 Hothfield Place London Southwark

46 - 50 Surrey Quays Shopping Centre Redriff Road London

7-9 Surrey Quays Shopping Centre Redriff Road London

38-40 Surrey Quays Shopping Centre Redriff Road London

36 Surrey Quays Shopping Centre Redriff Road London

19 Surrey Quays Shopping Centre Redriff Road London

Flat 59 7 Maritime Street London

Flat 26 29 Surrey Quays Road London

122 Montreal House Surrey Quays Road London

Flat 23 5 Maritime Street London

Flat 78 Ontario Point 28 Surrey Quays Road

Flat 98 Ontario Point 28 Surrey Quays Road

Flat 82 Ontario Point 28 Surrey Quays Road

Flat 31 Ontario Point 28 Surrey Quays Road

Flat 56 29 Surrey Quays Road London

Flat 31 7 Maritime Street London

Flat 25 5 Maritime Street London

Flat 19 5 Maritime Street London

Flat 10 5 Maritime Street London

Flat 1 11 Maritime Street London

Flat 67 29 Surrey Quays Road London

Flat 14 29 Surrey Quays Road London

Flat 69 11 Maritime Street London

Flat 37 11 Maritime Street London

30 Montreal House Surrey Quays Road London

134 Montreal House Surrey Quays Road London

65 Montreal House Surrey Quays Road London

Flat 100 Ontario Point 28 Surrey Quays Road

Flat 87 Ontario Point 28 Surrey Quays Road

Flat 64 Ontario Point 28 Surrey Quays Road

Flat 11 Ontario Point 28 Surrey Quays Road

Flat 56 Ontario Point 28 Surrey Quays Road

Flat 51 Ontario Point 28 Surrey Quays Road

Flat 44 Ontario Point 28 Surrey Quays Road

Flat 114 Ontario Point 28 Surrey Quays Road

Flat 112 Ontario Point 28 Surrey Quays Road

43 Surrey Quays Shopping Centre Redriff Road London

21-23 Surrey Quays Shopping Centre Redriff Road London

Flat 45 29 Surrey Quays Road London

Flat 42 29 Surrey Quays Road London

Flat 62 29 Surrey Quays Road London

Flat 60 29 Surrey Quays Road London

Flat 58 29 Surrey Quays Road London

21 Maritime Street London Southwark

Flat 7 29 Surrey Quays Road London

Flat 55 11 Maritime Street London

Flat 29 11 Maritime Street London

Flat 26 11 Maritime Street London

Flat 44 7 Maritime Street London

Flat 18 7 Maritime Street London

Flat 121 Ontario Point 28 Surrey Quays Road

Flat 113 Ontario Point 28 Surrey Quays Road

Flat 99 Ontario Point 28 Surrey Quays Road

Flat 94 Ontario Point 28 Surrey Quays Road

157 Montreal House Surrey Quays Road London

151 Montreal House Surrey Quays Road London

149 Montreal House Surrey Quays Road London

133 Montreal House Surrey Quays Road London

91 Montreal House Surrey Quays Road
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88 Montreal House Surrey Quays Road
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83 Montreal House Surrey Quays Road
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78 Montreal House Surrey Quays Road
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48 Montreal House Surrey Quays Road
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40 Montreal House Surrey Quays Road
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31 Montreal House Surrey Quays Road
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9 Montreal House Surrey Quays Road
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Flat 70 Ontario Point 28 Surrey Quays
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Flat 63 Ontario Point 28 Surrey Quays
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Flat 32 Ontario Point 28 Surrey Quays
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Flat 21 Ontario Point 28 Surrey Quays
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Flat 83 Ontario Point 28 Surrey Quays
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Flat 75 Ontario Point 28 Surrey Quays
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Flat 62 Ontario Point 28 Surrey Quays
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138 Montreal House Surrey Quays Road
London

Flat 42 7 Maritime Street London

167 Montreal House Surrey Quays Road
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127 Montreal House Surrey Quays Road
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Flat 16 11 Maritime Street London

39 Montreal House Surrey Quays Road
London

Flat 24 29 Surrey Quays Road London

Flat 7 7 Maritime Street London

Flat 4 7 Maritime Street London

Flat 16 5 Maritime Street London

13 Maritime Street London Southwark

Flat 64 29 Surrey Quays Road London

Flat 40 11 Maritime Street London

41 Montreal House Surrey Quays Road
London

25 Montreal House Surrey Quays Road
London

124 Montreal House Surrey Quays Road
London

63 Montreal House Surrey Quays Road
London

Flat 20 Ontario Point 28 Surrey Quays
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Flat 3 Ontario Point 28 Surrey Quays
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Flat 36 Ontario Point 28 Surrey Quays
Road

Flat 33 Ontario Point 28 Surrey Quays
Road

49-51 Surrey Quays Shopping Centre
Redriff Road London

Unit 7 Dock Offices Surrey Quays Road

6 Hothfield Place London Southwark

Flat 69 29 Surrey Quays Road London

Flat 38 29 Surrey Quays Road London

Flat 28 29 Surrey Quays Road London

Flat 25 29 Surrey Quays Road London

Flat 18 29 Surrey Quays Road London

Flat 12 29 Surrey Quays Road London

Flat 10 29 Surrey Quays Road London

Flat 4 29 Surrey Quays Road London

Flat 1 29 Surrey Quays Road London

Flat 70 11 Maritime Street London

Flat 61 11 Maritime Street London

Flat 47 11 Maritime Street London

Flat 45 11 Maritime Street London

Flat 23 11 Maritime Street London

Flat 17 11 Maritime Street London

Flat 56 7 Maritime Street London

Flat 50 7 Maritime Street London

Flat 45 7 Maritime Street London

Flat 17 7 Maritime Street London

Flat 14 7 Maritime Street London

Flat 120 Ontario Point 28 Surrey Quays Road

152 Montreal House Surrey Quays Road London

115 Montreal House Surrey Quays Road London

114 Montreal House Surrey Quays Road London

86 Montreal House Surrey Quays Road London

75 Montreal House Surrey Quays Road London

70 Montreal House Surrey Quays Road London

66 Montreal House Surrey Quays Road London

64 Montreal House Surrey Quays Road London

28 Montreal House Surrey Quays Road London

14 Montreal House Surrey Quays Road London

1 Montreal House Surrey Quays Road London

Flat 22 Ontario Point 28 Surrey Quays Road

First Floor 57 Surrey Quays Shopping Centre Redriff Road

Flat 20 29 Surrey Quays Road London

Flat 3 29 Surrey Quays Road London

Flat 50 29 Surrey Quays Road London

Flat 46 7 Maritime Street London

Flat 35 Ontario Point 28 Surrey Quays Road

Flat 9 Ontario Point 28 Surrey Quays Road

108 Montreal House Surrey Quays Road London

68 Montreal House Surrey Quays Road London

Flat 23 Ontario Point 28 Surrey Quays Road

Flat 57 11 Maritime Street London

Flat 59 29 Surrey Quays Road London

Flat 27 29 Surrey Quays Road London

Flat 55 7 Maritime Street London

Flat 52 7 Maritime Street London

Flat 43 7 Maritime Street London

Flat 19 29 Surrey Quays Road London

Flat 11 29 Surrey Quays Road London

Flat 5 29 Surrey Quays Road London

Flat 34 11 Maritime Street London

Flat 19 11 Maritime Street London

49 Montreal House Surrey Quays Road London

Unit B Montreal House Surrey Quays Road

161 Montreal House Surrey Quays Road London

126 Montreal House Surrey Quays Road London

106 Montreal House Surrey Quays Road London

82 Montreal House Surrey Quays Road London

15 Montreal House Surrey Quays Road London

13 Montreal House Surrey Quays Road London

Flat 90 Ontario Point 28 Surrey Quays Road

Flat 54 Ontario Point 28 Surrey Quays Road

33 Surrey Quays Shopping Centre Redriff Road London

8 Surrey Quays Shopping Centre Redriff Road London

Flat 43 29 Surrey Quays Road London

Flat 63 29 Surrey Quays Road London

17 Maritime Street London Southwark

Flat 29 29 Surrey Quays Road London

Flat 42 11 Maritime Street London

Flat 27 11 Maritime Street London

Flat 5 11 Maritime Street London

Flat 57 7 Maritime Street London

Flat 32 7 Maritime Street London

Flat 20 7 Maritime Street London

Flat 27 5 Maritime Street London

Flat 6 5 Maritime Street London

25 Maritime Street London Southwark

Flat 101 Ontario Point 28 Surrey Quays Road

Unit C Montreal House Surrey Quays Road

143 Montreal House Surrey Quays Road London

141 Montreal House Surrey Quays Road London

123 Montreal House Surrey Quays Road London

107 Montreal House Surrey Quays Road London

105 Montreal House Surrey Quays Road London

102 Montreal House Surrey Quays Road London

77 Montreal House Surrey Quays Road London

53 Montreal House Surrey Quays Road London

50 Montreal House Surrey Quays Road London

42 Montreal House Surrey Quays Road London

37 Montreal House Surrey Quays Road London

32 Montreal House Surrey Quays Road London

24 Montreal House Surrey Quays Road London

23 Montreal House Surrey Quays Road London

Flat 68 Ontario Point 28 Surrey Quays Road

Flat 60 Ontario Point 28 Surrey Quays Road

Flat 55 Ontario Point 28 Surrey Quays Road

Flat 48 Ontario Point 28 Surrey Quays Road

Flat 29 Ontario Point 28 Surrey Quays Road

Flat 25 Ontario Point 28 Surrey Quays Road

Flat 14 Ontario Point 28 Surrey Quays Road

Flat 10 Ontario Point 28 Surrey Quays Road

35 Surrey Quays Shopping Centre Redriff Road London

Flat 12 7 Maritime Street London

Flat 37 29 Surrey Quays Road London

146 Montreal House Surrey Quays Road London

Flat 36 11 Maritime Street London

101 Montreal House Surrey Quays Road London

Flat 53 29 Surrey Quays Road London

Flat 17 29 Surrey Quays Road London

Flat 8 29 Surrey Quays Road London

Flat 66 11 Maritime Street London

Flat 46 11 Maritime Street London

Flat 43 11 Maritime Street London

Flat 28 11 Maritime Street London

42 Surrey Quays Shopping Centre Redriff Road London

6 Surrey Quays Shopping Centre Redriff Road London

30-34 Surrey Quays Shopping Centre Redriff Road London

16 Surrey Quays Shopping Centre Redriff Road London

43 Montreal House Surrey Quays Road London

158 Montreal House Surrey Quays Road London

137 Montreal House Surrey Quays Road London

121 Montreal House Surrey Quays Road London

116 Montreal House Surrey Quays Road London

92 Montreal House Surrey Quays Road London

71 Montreal House Surrey Quays Road London

Flat 16 Ontario Point 28 Surrey Quays Road

Flat 6 Ontario Point 28 Surrey Quays Road

Flat 1 Ontario Point 28 Surrey Quays Road

Flat 137 Ontario Point 28 Surrey Quays Road

13 Hothfield Place London Southwark

12 Hothfield Place London Southwark

Flat 57 29 Surrey Quays Road London

Flat 55 29 Surrey Quays Road London

Flat 65 29 Surrey Quays Road London

3 Maritime Street London Southwark

Flat 35 29 Surrey Quays Road London

Flat 32 29 Surrey Quays Road London

Flat 16 29 Surrey Quays Road London

Flat 64 11 Maritime Street London

Flat 41 11 Maritime Street London

Flat 35 11 Maritime Street London

Flat 48 7 Maritime Street London

Flat 23 7 Maritime Street London

Flat 11 7 Maritime Street London

Flat 8 7 Maritime Street London
Flat 20 5 Maritime Street London
Flat 140 Ontario Point 28 Surrey Quays Road
Flat 128 Ontario Point 28 Surrey Quays Road
Flat 93 Ontario Point 28 Surrey Quays Road
165 Montreal House Surrey Quays Road London
135 Montreal House Surrey Quays Road London
128 Montreal House Surrey Quays Road London
104 Montreal House Surrey Quays Road London
97 Montreal House Surrey Quays Road London
51 Montreal House Surrey Quays Road London
16 Montreal House Surrey Quays Road London
6 Montreal House Surrey Quays Road London
Flat 73 Ontario Point 28 Surrey Quays Road
37 Surrey Quays Shopping Centre Redriff Road London
Flat 60 7 Maritime Street London
Flat 15 7 Maritime Street London
Flat 49 7 Maritime Street London
Flat 111 Ontario Point 28 Surrey Quays Road
Flat 44 29 Surrey Quays Road London
Flat 41 29 Surrey Quays Road London
Flat 39 29 Surrey Quays Road London

Flat 36 29 Surrey Quays Road London
Flat 30 29 Surrey Quays Road London
Flat 34 7 Maritime Street London
Flat 10 7 Maritime Street London
Flat 7 5 Maritime Street London
Flat 4 11 Maritime Street London
Flat 63 11 Maritime Street London
Flat 49 11 Maritime Street London
44 Surrey Quays Shopping Centre Redriff Road London
53-55 Surrey Quays Shopping Centre Redriff Road London
Unit 8 Dock Offices Surrey Quays Road
57 Montreal House Surrey Quays Road London
52 Montreal House Surrey Quays Road London
166 Montreal House Surrey Quays Road London
150 Montreal House Surrey Quays Road London
139 Montreal House Surrey Quays Road London
129 Montreal House Surrey Quays Road London
76 Montreal House Surrey Quays Road London
18 Montreal House Surrey Quays Road London
2 Montreal House Surrey Quays Road London
73 Montreal House Surrey Quays Road London
Flat 95 Ontario Point 28 Surrey Quays Road

Flat 69 Ontario Point 28 Surrey Quays Road

Flat 18 Ontario Point 28 Surrey Quays Road

Flat 104 Ontario Point 28 Surrey Quays Road

39-41 Surrey Quays Shopping Centre Redriff Road London

8 Hothfield Place London Southwark

Flat 40 29 Surrey Quays Road London

1 Maritime Street London Southwark

Flat 31 29 Surrey Quays Road London

Flat 67 11 Maritime Street London

Flat 59 11 Maritime Street London

Flat 53 11 Maritime Street London

Flat 32 11 Maritime Street London

Flat 21 11 Maritime Street London

Flat 9 11 Maritime Street London

Flat 8 11 Maritime Street London

Flat 3 11 Maritime Street London

Flat 51 7 Maritime Street London

Flat 36 7 Maritime Street London

Flat 27 7 Maritime Street London

Flat 26 7 Maritime Street London

Flat 24 7 Maritime Street London

Flat 9 7 Maritime Street London

Flat 3 7 Maritime Street London

Flat 21 5 Maritime Street London

Flat 135 Ontario Point 28 Surrey Quays Road

Flat 116 Ontario Point 28 Surrey Quays Road

Flat 110 Ontario Point 28 Surrey Quays Road

Flat 91 Ontario Point 28 Surrey Quays Road

162 Montreal House Surrey Quays Road London

154 Montreal House Surrey Quays Road London

120 Montreal House Surrey Quays Road London

99 Montreal House Surrey Quays Road London

94 Montreal House Surrey Quays Road London

93 Montreal House Surrey Quays Road London

85 Montreal House Surrey Quays Road London

80 Montreal House Surrey Quays Road London

67 Montreal House Surrey Quays Road London

62 Montreal House Surrey Quays Road London

21 Montreal House Surrey Quays Road London

3 Montreal House Surrey Quays Road London

Flat 53 Ontario Point 28 Surrey Quays Road

Flat 52 Ontario Point 28 Surrey Quays Road

Flat 45 Ontario Point 28 Surrey Quays Road

Flat 30 Ontario Point 28 Surrey Quays Road

Flat 12 Ontario Point 28 Surrey Quays Road

Flat 7 Ontario Point 28 Surrey Quays Road

Flat 5 Ontario Point 28 Surrey Quays Road

Flat 2 29 Surrey Quays Road London

Flat 60 11 Maritime Street London

11-13 Surrey Quays Shopping Centre Redriff Road London

25 Surrey Quays Shopping Centre Redriff Road London

29 Surrey Quays Shopping Centre Redriff Road London

Unit 5 Dock Offices Surrey Quays Road

Flat 71 29 Surrey Quays Road London

30-32 Surrey Quays Road London Southwark

Outside Surrey Quays Shopping Centre Redriff Road

Outside Red Shipping Container Surrey Quays Shopping Centre Redriff Road

5 Surrey Quays Shopping Centre Redriff Road London

10-12 Surrey Quays Shopping Centre Redriff Road London

Flat 17 Ontario Point 28 Surrey Quays Road

28 Surrey Quays Shopping Centre Redriff Road London

Flat 18 11 Maritime Street London

Flat 41 7 Maritime Street London

Flat 35 7 Maritime Street London

23 Maritime Street London Southwark

Flat 5 5 Maritime Street London

Flat 57 Ontario Point 28 Surrey Quays Road

Flat 68 29 Surrey Quays Road London

Flat 48 29 Surrey Quays Road London

79 Montreal House Surrey Quays Road London

Flat 133 Ontario Point 28 Surrey Quays Road

Flat 89 Ontario Point 28 Surrey Quays Road

45 Surrey Quays Shopping Centre Redriff Road London

1 Surrey Quays Shopping Centre Redriff Road London

Flat 22 5 Maritime Street London

Flat 70 29 Surrey Quays Road London

Car Wash At Car Park Surrey Quays Shopping Centre Redriff Road

Unit 4 Dock Offices Surrey Quays Road

Site Office Surrey Quays Road London

Flat 15 Ontario Point 28 Surrey Quays Road

Flat 4 Ontario Point 28 Surrey Quays Road

Flat 2 Ontario Point 28 Surrey Quays Road

53 Surrey Quays Shopping Centre Redriff Road London

Flat 42 Ontario Point 28 Surrey Quays Road

Flat 24 Ontario Point 28 Surrey Quays Road

Flat 8 5 Maritime Street London

15 Maritime Street London Southwark

Flat 24 5 Maritime Street London

156 Montreal House Surrey Quays Road London

72 Montreal House Surrey Quays Road London

109 Montreal House Surrey Quays Road London	Flat 13 7 Maritime Street London
Flat 66 29 Surrey Quays Road London	Unit D1 Surrey Quays Shopping Centre Redriff Road
Flat 30 11 Maritime Street London	Flat 37 7 Maritime Street London
Flat 6 29 Surrey Quays Road London	Flat 47 29 Surrey Quays Road London
Flat 56 11 Maritime Street London	Flat 33 29 Surrey Quays Road London
81 Montreal House Surrey Quays Road London	Flat 1 7 Maritime Street London
61 Montreal House Surrey Quays Road London	Flat 4 5 Maritime Street London
58 Montreal House Surrey Quays Road London	19 Maritime Street London Southwark
19 Montreal House Surrey Quays Road London	Flat 10 11 Maritime Street London
Flat 59 Ontario Point 28 Surrey Quays Road	Flat 58 7 Maritime Street London
Flat 22 29 Surrey Quays Road London	Flat 7 11 Maritime Street London
Flat 28 Ontario Point 28 Surrey Quays Road	Flat 13 11 Maritime Street London
Flat 49 29 Surrey Quays Road London	Flat 40 7 Maritime Street London
38 Montreal House Surrey Quays Road London	Flat 22 11 Maritime Street London
103 Montreal House Surrey Quays Road London	Flat 54 11 Maritime Street London
Flat 76 Ontario Point 28 Surrey Quays Road	Flat 31 11 Maritime Street London
First Floor 59 Surrey Quays Shopping Centre Redriff Road	Flat 25 11 Maritime Street London
147 Montreal House Surrey Quays Road London	Unit 9 Dock Offices Surrey Quays Road
Flat 58 11 Maritime Street London	18 Surrey Quays Shopping Centre Redriff Road London
Flat 14 11 Maritime Street London	Unit 1 Dock Offices Surrey Quays Road
Flat 28 7 Maritime Street London	Unit 14 Dock Offices Surrey Quays Road
Flat 25 7 Maritime Street London	14 Surrey Quays Shopping Centre Redriff Road London
Flat 22 7 Maritime Street London	35 Montreal House Surrey Quays Road London
	27 Montreal House Surrey Quays Road London
	22 Montreal House Surrey Quays Road London
	168 Montreal House Surrey Quays Road London

155 Montreal House Surrey Quays Road London	Flat 43 Columbia Point Canada Estate Moodkee Street
131 Montreal House Surrey Quays Road London	Flat 48 Columbia Point Canada Estate Moodkee Street
113 Montreal House Surrey Quays Road London	Flat 29 Columbia Point Canada Estate Moodkee Street
98 Montreal House Surrey Quays Road London	Flat 19 Columbia Point Canada Estate Moodkee Street
90 Montreal House Surrey Quays Road London	Flat 57 Columbia Point Canada Estate Moodkee Street
87 Montreal House Surrey Quays Road London	Unit 3 Ticket Hall Canada Water Underground Station Surrey Quays Road
7 Montreal House Surrey Quays Road London	Flat 58 Columbia Point Canada Estate Moodkee Street
Flat 79 Ontario Point 28 Surrey Quays Road	Flat 5 Columbia Point Canada Estate Moodkee Street
Flat 71 Ontario Point 28 Surrey Quays Road	Flat 47 Columbia Point Canada Estate Moodkee Street
Flat 13 Ontario Point 28 Surrey Quays Road	Flat 23 Columbia Point Canada Estate Moodkee Street
Flat 142 Ontario Point 28 Surrey Quays Road	Flat 11 Columbia Point Canada Estate Moodkee Street
Flat 139 Ontario Point 28 Surrey Quays Road	South And West Warehouses Canada Water Retail Park Surrey Quays Road
Flat 127 Ontario Point 28 Surrey Quays Road	Flat 78 Columbia Point Canada Estate Moodkee Street
Flat 124 Ontario Point 28 Surrey Quays Road	Flat 14 Columbia Point Canada Estate Moodkee Street
Flat 119 Ontario Point 28 Surrey Quays Road	Flat 50 Columbia Point Canada Estate Moodkee Street
Flat 117 Ontario Point 28 Surrey Quays Road	Flat 4 Columbia Point Canada Estate Moodkee Street
24-26 Surrey Quays Shopping Centre Redriff Road London	Flat 31 Columbia Point Canada Estate Moodkee Street
15 Surrey Quays Shopping Centre Redriff Road London	Flat 12 Columbia Point Canada Estate Moodkee Street
Flat 64 Columbia Point Canada Estate Moodkee Street	Canada Estate Tenants Hall Renforth Street London

Flat 70 Columbia Point Canada Estate
Moodkee Street

Flat 69 Columbia Point Canada Estate
Moodkee Street

Flat 13 Columbia Point Canada Estate
Moodkee Street

Stompin Jago Canada Water Library 21
Surrey Quays Road

Flat 46 Columbia Point Canada Estate
Moodkee Street

Flat 41 Columbia Point Canada Estate
Moodkee Street

Flat 8 Columbia Point Canada Estate
Moodkee Street

Flat 54 Columbia Point Canada Estate
Moodkee Street

Canada Water Library 21 Surrey Quays
Road London

Flat 45 Columbia Point Canada Estate
Moodkee Street

Flat 39 Columbia Point Canada Estate
Moodkee Street

Flat 24 Columbia Point Canada Estate
Moodkee Street

Flat 15 Columbia Point Canada Estate
Moodkee Street

Canada Water Bus Station Surrey Quays
Road London

Flat 35 Columbia Point Canada Estate
Moodkee Street

Flat 22 Columbia Point Canada Estate
Moodkee Street

Cafe Canada Water Library 21 Surrey
Quays Road

Flat 80 Columbia Point Canada Estate
Moodkee Street

Flat 74 Columbia Point Canada Estate
Moodkee Street

Flat 66 Columbia Point Canada Estate
Moodkee Street

Flat 62 Columbia Point Canada Estate
Moodkee Street

Flat 55 Columbia Point Canada Estate
Moodkee Street

Flat 28 Columbia Point Canada Estate
Moodkee Street

Top Hill Gelato Deal Porter Square
London

Flat 2 Columbia Point Canada Estate
Moodkee Street

Flat 44 Columbia Point Canada Estate
Moodkee Street

Flat 21 Columbia Point Canada Estate
Moodkee Street

Flat 38 Columbia Point Canada Estate
Moodkee Street

Flat 25 Columbia Point Canada Estate
Moodkee Street

Flat 1 Columbia Point Canada Estate
Moodkee Street

Flat 73 Columbia Point Canada Estate
Moodkee Street

Flat 71 Columbia Point Canada Estate
Moodkee Street

Flat 9 Columbia Point Canada Estate
Moodkee Street

Flat 34 Columbia Point Canada Estate
Moodkee Street

Flat 32 Columbia Point Canada Estate
Moodkee Street

Tinos Mobile Pizza Deal Porter Square
London

Flat 7 Columbia Point Canada Estate
Moodkee Street

Flat 72 Columbia Point Canada Estate
Moodkee Street

Flat 42 Columbia Point Canada Estate
Moodkee Street

Flat 20 Columbia Point Canada Estate
Moodkee Street

Flat 16 Columbia Point Canada Estate
Moodkee Street

Flat 67 Columbia Point Canada Estate
Moodkee Street

Flat 59 Columbia Point Canada Estate
Moodkee Street

1 Albatross Way London Southwark

Flat 61 Columbia Point Canada Estate
Moodkee Street

Flat 37 Columbia Point Canada Estate
Moodkee Street

Flat 3 Columbia Point Canada Estate
Moodkee Street

Construction Site Office Deal Porters
Way London

Flat 33 Columbia Point Canada Estate
Moodkee Street

Flat 51 Columbia Point Canada Estate
Moodkee Street

Flat 52 Columbia Point Canada Estate
Moodkee Street

Unit 1 Ticket Hall Canada Water
Underground Station Surrey Quays Road

Stall 1 Deal Porter Square London

Flat 77 Columbia Point Canada Estate
Moodkee Street

Flat 75 Columbia Point Canada Estate
Moodkee Street

Flat 36 Columbia Point Canada Estate
Moodkee Street

Flat 18 Columbia Point Canada Estate
Moodkee Street

Flat 17 Columbia Point Canada Estate
Moodkee Street

Flat 10 Columbia Point Canada Estate
Moodkee Street

Flat 27 Columbia Point Canada Estate
Moodkee Street

Flat 76 Columbia Point Canada Estate
Moodkee Street

Flat 65 Columbia Point Canada Estate
Moodkee Street

Flat 63 Columbia Point Canada Estate
Moodkee Street

Flat 60 Columbia Point Canada Estate
Moodkee Street

3 Albatross Way London Southwark

Unit 2 Ticket Hall Canada Water
Underground Station Surrey Quays Road

Flat 79 Columbia Point Canada Estate
Moodkee Street

Flat 68 Columbia Point Canada Estate
Moodkee Street

Flat 6 Columbia Point Canada Estate
Moodkee Street

Flat 56 Columbia Point Canada Estate
Moodkee Street

Flat 53 Columbia Point Canada Estate
Moodkee Street

Flat 49 Columbia Point Canada Estate
Moodkee Street

Flat 40 Columbia Point Canada Estate
Moodkee Street

Flat 30 Columbia Point Canada Estate
Moodkee Street

Flat 26 Columbia Point Canada Estate
Moodkee Street

Appendix 5: Consultation responses received

Internal services

Archaeology

Design and Conservation Team [Formal]

Ecology

Environmental Protection

Flood Risk Management & Urban Drainage

Urban Forester

Archaeology

Ecology

Environmental Protection

Flood Risk Management & Urban Drainage

Urban Forester

Statutory and non-statutory organisations

Thames Water

Environment Agency

Natural England - London & South East Re

Transport for London

Thames Water

Neighbour and local groups consulted:

17 Wolfe Crescent London SE16 6SF

56 Columbia Point Canada Estate London

17 Wolfe Crescent London SE16 6SF

FLAT 24, BRYAN HOUSE ROTHERHITHE STREET London